



PLAN VIEW
Scale: 1"=30'-0"



04.19.23

L-1.1 ILLUSTRATIVE SITE PLAN

FOOTHILL VILLAGE CENTER, FMDC
SUNNYVALE, CALIFORNIA

PLANNING URBAN DESIGN
LANDSCAPE ARCHITECTURE
248 3rd street suite 202, oakland, ca 94607
phone: 510.452.4190
www.r3studios.com



PITTOSPORUM EUGENIOIDES SCREEN TREE
AT NORTHERN PROPERTY LINE:
TYPICAL SYMBOL. REFER TO PROPOSED PLANT
PALETTE SHEET L-6

LADDER PAD:
REFER TO PLANS PREPARED BY WOODLEY
ARCHITECTURAL GROUP

AUTO-COURT AND STREET FRONTAGE
ENLARGEMENT:
REFER TO SHEET L-4

MEDICAL CENTER SIGNAGE

TRASH ENCLOSURE:
REFER TO PLANS PREPARED BY WOODLEY
ARCHITECTURAL GROUP

4'-0" WIDE LANDSCAPE STRIP WITH
CONTINUOUS ROOT BARRIERS:
REFER TO CITY STANDARD DETAILS
13F AND 14F

BICYCLE LOCKERS:
2 BICYCLE LOCKERS WITH PARKING FOR 4
BICYCLES. REFER TO IMAGE SHEET L-11.1

PLANTING AREA:
REFER TO PROPOSED PLANT PALETTE SHEET L-6

BICYCLE RACKS:
4 BICYCLE RACKS WITH PARKING FOR 8
BICYCLES. REFER TO IMAGE SHEET L-11.1

SOUTH MARY AVENUE STREET TREE:
REFER TO PROPOSED PLANT PALETTE SHEET L-6

COMMERCIAL BUILDING FRONTAGE
ENLARGEMENT:
REFER TO SHEET L-6

BICYCLE RACKS:
4 BICYCLE RACKS WITH PARKING FOR 8
BICYCLES. REFER TO IMAGE SHEET L-11.1

UNDERSTORY PLANTING ALONG NORTHERN
AND EASTERN PROPERTY LINE TO BE A
COMBINATION OF NATIVE AND NONNATIVE
CALIFORNIAN SHRUBS INCLUDING, BUT NOT
LIMITED TO:

- RHAMNUS CALIFORNICA MOUND SAN BRUNO: REFER TO PROPOSED PLANT PALETTE SHEET L-6
- MAHONIA SPECIES: REFER TO PROPOSED PLANT PALETTE SHEET L-6
- ARCTOSTAPHYLOS SPECIES: REFER TO PROPOSED PLANT PALETTE SHEET L-6
- DALYZIA SPECIOSA THRECHACKER: REFER TO PROPOSED PLANT PALETTE SHEET L-6

PRUNUS CAROLINIANA SCREEN TREE AT
NORTHERN PROPERTY LINE:
TYPICAL SYMBOL. REFER TO PROPOSED PLANT
PALETTE SHEET L-6

LOW-LIGHT TOLERANT FLOWERING ACCENT
TREE CENTERED ON AUTO-COURT:
REFER TO PROPOSED PLANT PALETTE SHEET L-6

8'-0" WOOD FENCE OVER RETAINING WALL:
REFER TO DETAIL 1 SHEET L-16.2

LARGE CANOPY SHADE TREE:
REFER TO PROPOSED PLANT PALETTE SHEET L-6

PERMEABLE PAVER CROSSWALK:
REFER TO IMAGE SHEET L-11.1

PORCH PARK ENLARGEMENT:
REFER TO SHEET L-2

PERMEABLE PAVERS:
REFER TO IMAGE SHEET L-11.1

PITTOSPORUM EUGENIOIDES SCREEN TREE
AT EASTERN PROPERTY LINE:
TYPICAL SYMBOL. REFER TO PROPOSED PLANT
PALETTE SHEET L-6

LOW-GROWING SHRUBS WITH ACCENT
SHRUBS BETWEEN DRIVEWAYS:
REFER TO PROPOSED PLANT PALETTE SHEET L-6

PRUNUS CAROLINIANA SCREEN TREE AT
EASTERN PROPERTY LINE:
TYPICAL SYMBOL. REFER TO PROPOSED PLANT
PALETTE SHEET L-6

WATER TREATMENT SHRUBS AND GRASSES:
REFER TO THE PROPOSED PLANT PALETTE SHEET L-3

VISION TRIANGLE:
REFER TO PLANS PREPARED BY WOOD ROBBERS CIVIL
ENGINEERS. ALL STRUCTURES AND VEGETATION IN
VISION TRIANGLES ARE LIMITED TO THREE AND
ONE-HALF FEET IN HEIGHT PER SMC 19.34.005. A
STRUCTURE MAY INCLUDE BUILDINGS, FENCES,
ACCESSORY STRUCTURES, SIGNS OR ANY OTHER
PHYSICAL OBJECT. VEGETATION MAY INCLUDE PLANTS,
SHRUBS, AND TREES.

EXISTING TREES TO REMAIN:
REFER TO TREE PRESERVATION AND PROPOSED
TREE PLAN SHEET L-7

PUBLIC GATHERING SPACE ENLARGEMENT:
REFER TO SHEET L-3.6

PARK ENLARGEMENT:
REFER TO SHEET L-3.2

BICYCLE RACKS:
8 BICYCLE RACKS WITH PARKING FOR 16
BICYCLES. REFER TO IMAGE SHEET L-11.1

WEST FREMONT AVENUE STREET TREE:
REFER TO PROPOSED PLANT PALETTE SHEET L-6

4'-0" WIDE LANDSCAPE STRIP WITH
CONTINUOUS ROOT BARRIERS:
REFER TO CITY STANDARD DETAILS
13F AND 14F

PLAN VIEW
Scale: 1"=30'-0"



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L-1.2 PRELIMINARY LANDSCAPE PLAN

FOOTHILL VILLAGE CENTER, FMDC SUNNYVALE, CALIFORNIA

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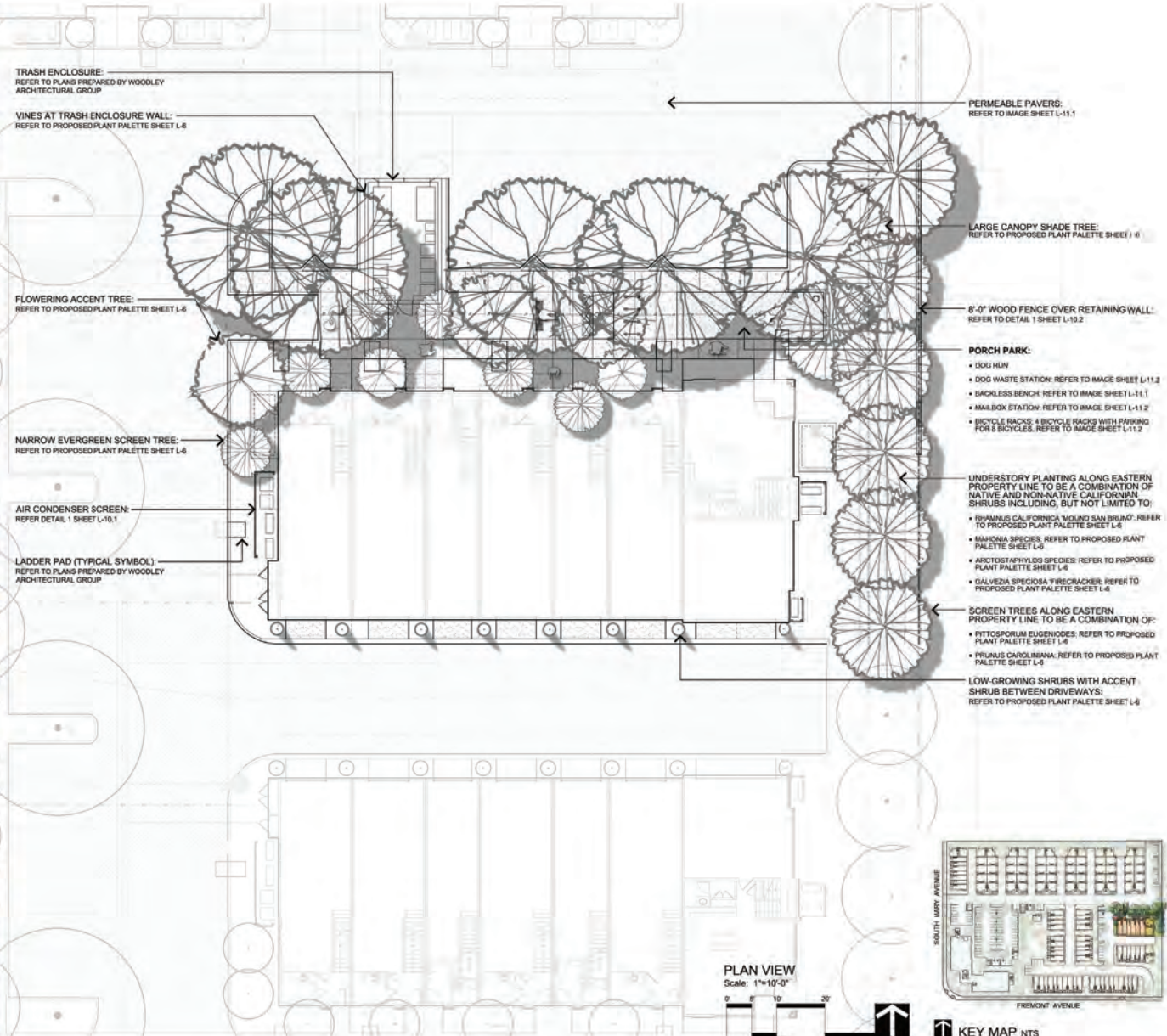




CONCEPTUAL IMAGERY

04.19.23

L-2 PORCH PARK ENLARGEMENT



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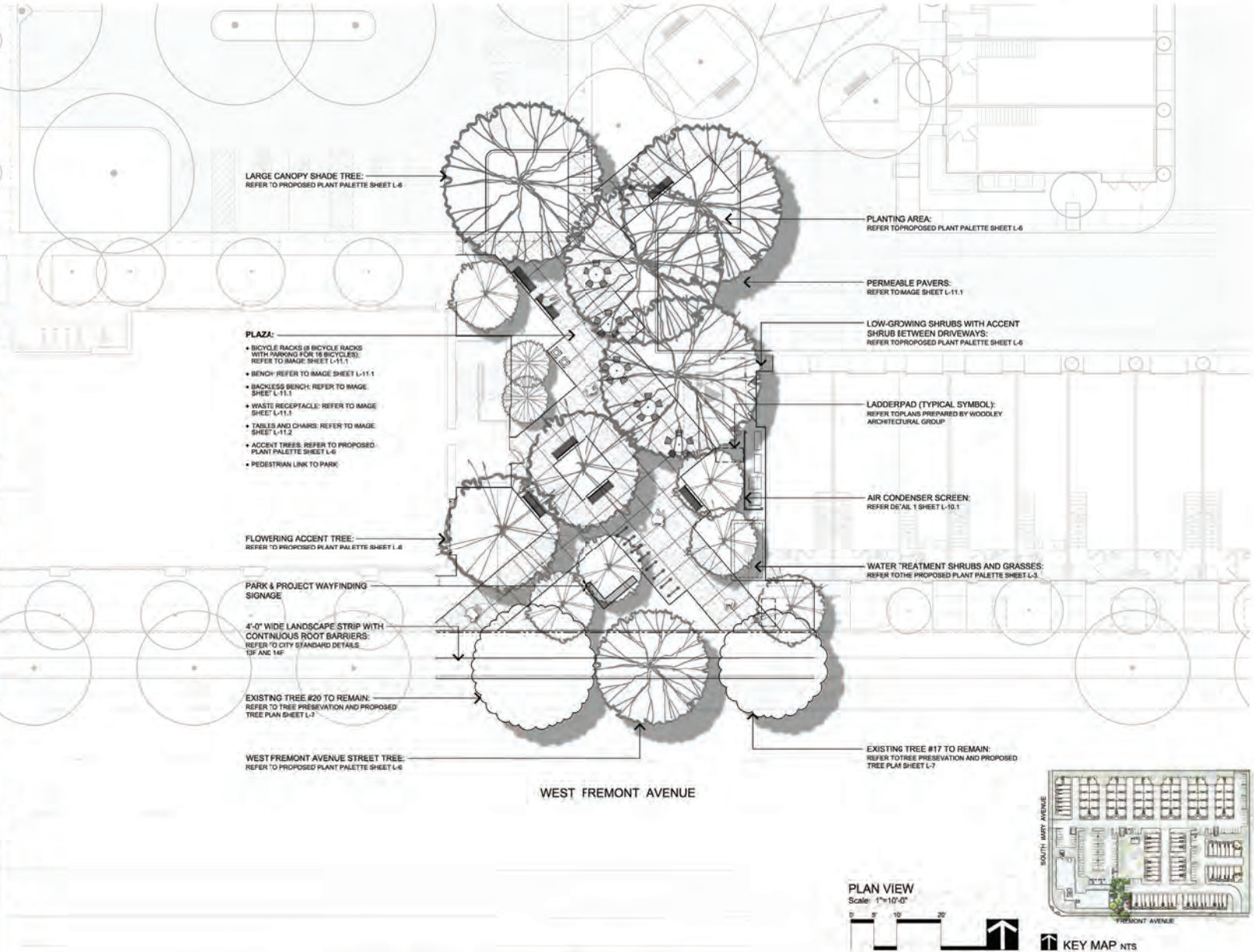




CONCEPTUAL IMAGERY

04.19.23

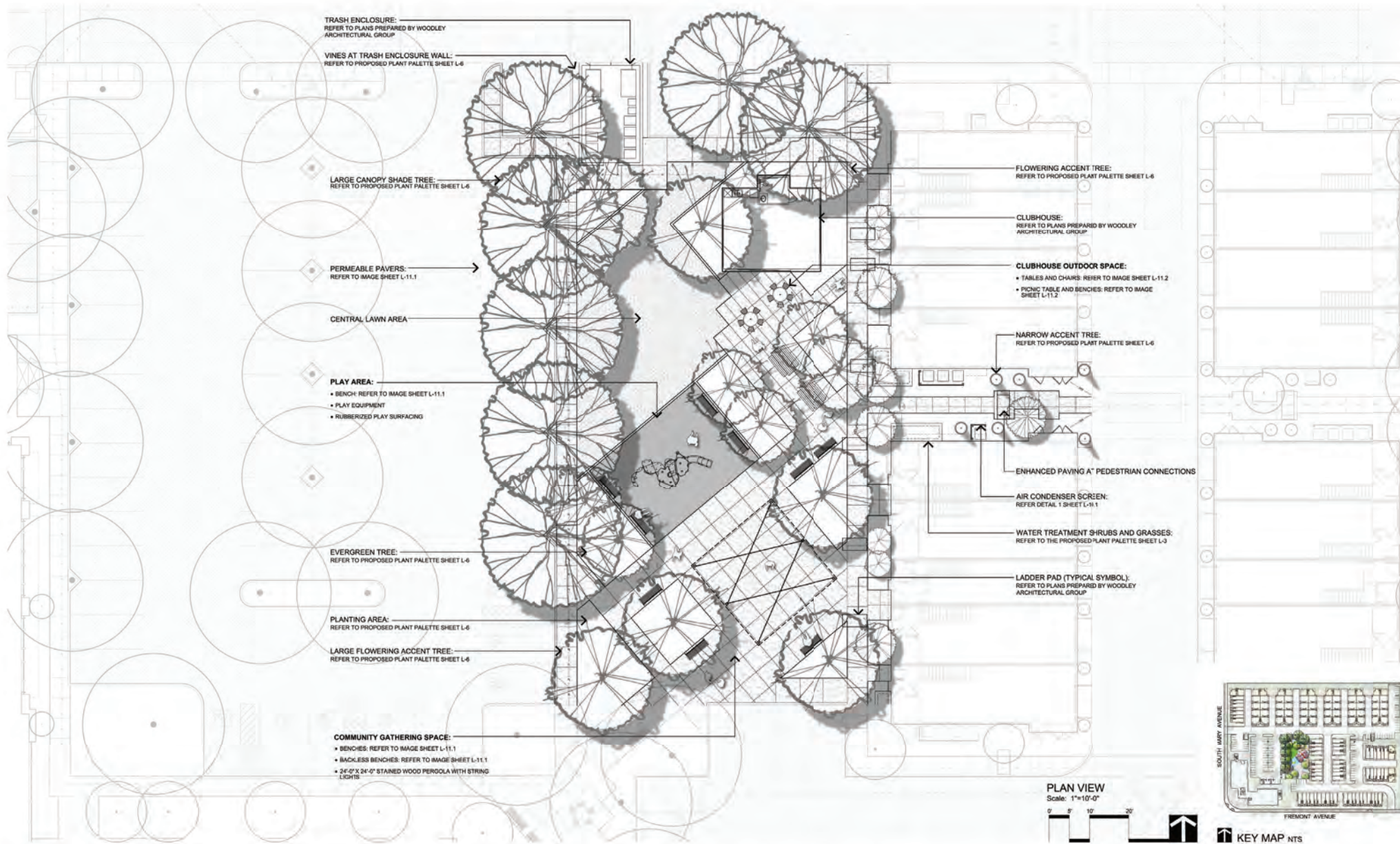
L-3.1 PUBLIC GATHERING SPACE ENLARGEMENT



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L-3.2 PARK ENLARGEMENT

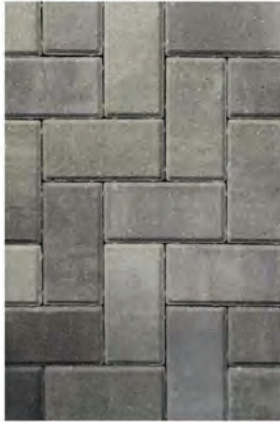
FOOTHILL VILLAGE CENTER, FMDC SUNNYVALE, CALIFORNIA



KEY MAP NTS

PLANNING URBAN DESIGN
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CONCEPTUAL IMAGERY

04.19.23

L-4 AUTO COURT AND STREET FRONTAGE ENLARGEMENT

SCREEN TREES ALONG NORTHERN PROPERTY LINE TO BE A COMBINATION OF:

- PITTOSPORUM EUGENIOIDES: REFER TO PROPOSED PLANT PALETTE SHEET L-6
- PRUNUS CAROLINIANA: REFER TO PROPOSED PLANT PALETTE SHEET L-6

8'-0" WOOD FENCE:
REFER TO DETAIL 2 SHEET L-10.2

PLANTING AREA:
REFER TO PROPOSED PLANT PALETTE SHEET L-6

EXISTING TREE #47 TO REMAIN:
REFER TO TREE PRESERVATION AND PROPOSED TREE PLAN

SMALL FLOWERING ACCENT TREE:
REFER TO PROPOSED PLANT PALETTE SHEET L-6

EVERGREEN ACCENT TREE:
REFER TO PROPOSED PLANT PALETTE SHEET L-6

SOUTH MARY AVENUE

EXISTING TREE #44 TO REMAIN:
REFER TO TREE PRESERVATION AND PROPOSED TREE PLAN

CONCRETE ENTRY WALK:
REFER TO DETAIL 1 SHEET L-12

PUBLIC SIDEWALK

EXISTING TREE #43 TO REMAIN:
REFER TO TREE PRESERVATION AND PROPOSED TREE PLAN

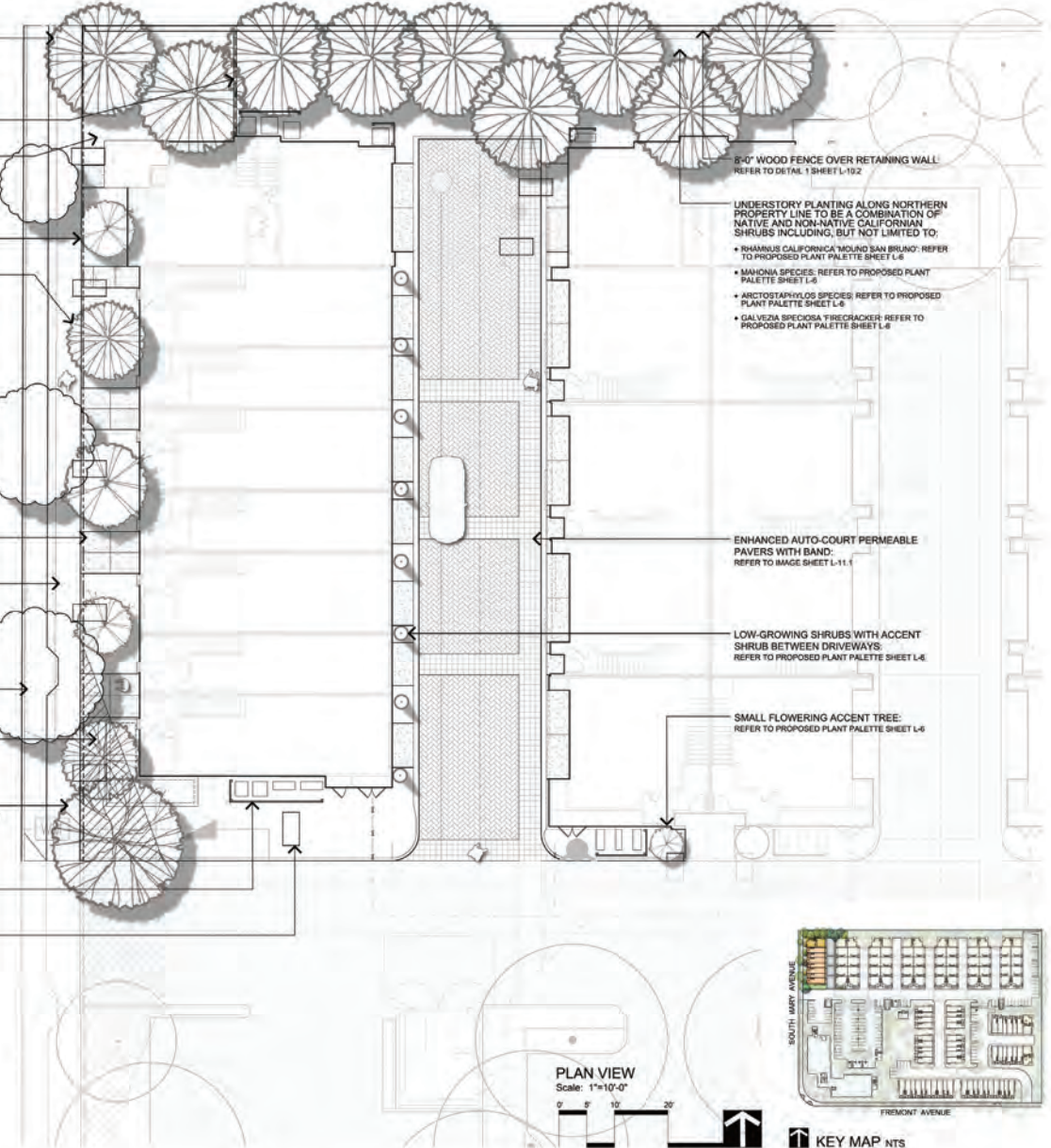
4'-0" WIDE LANDSCAPE STRIP WITH CONTINUOUS ROOT BARRIERS:
REFER TO CITY STANDARD DETAILS 13F AND 14F

SIGHT TRIANGLE:
REFER TO PLANS PREPARED BY WOOD/RODGERS CIVIL ENGINEERS

FLOWERING ACCENT TREE AT ENTRY:
UNDERSTORY PLANTING SHALL NOT EXCEED 30" IN HEIGHT
REFER TO PROPOSED PLANT PALETTE SHEET L-6

AIR CONDENSER SCREEN:
REFER DETAIL 1 SHEET L-10.1

LADDER PAD (TYPICAL SYMBOL):
REFER TO PLANS PREPARED BY WOODLEY ARCHITECTURAL GROUP



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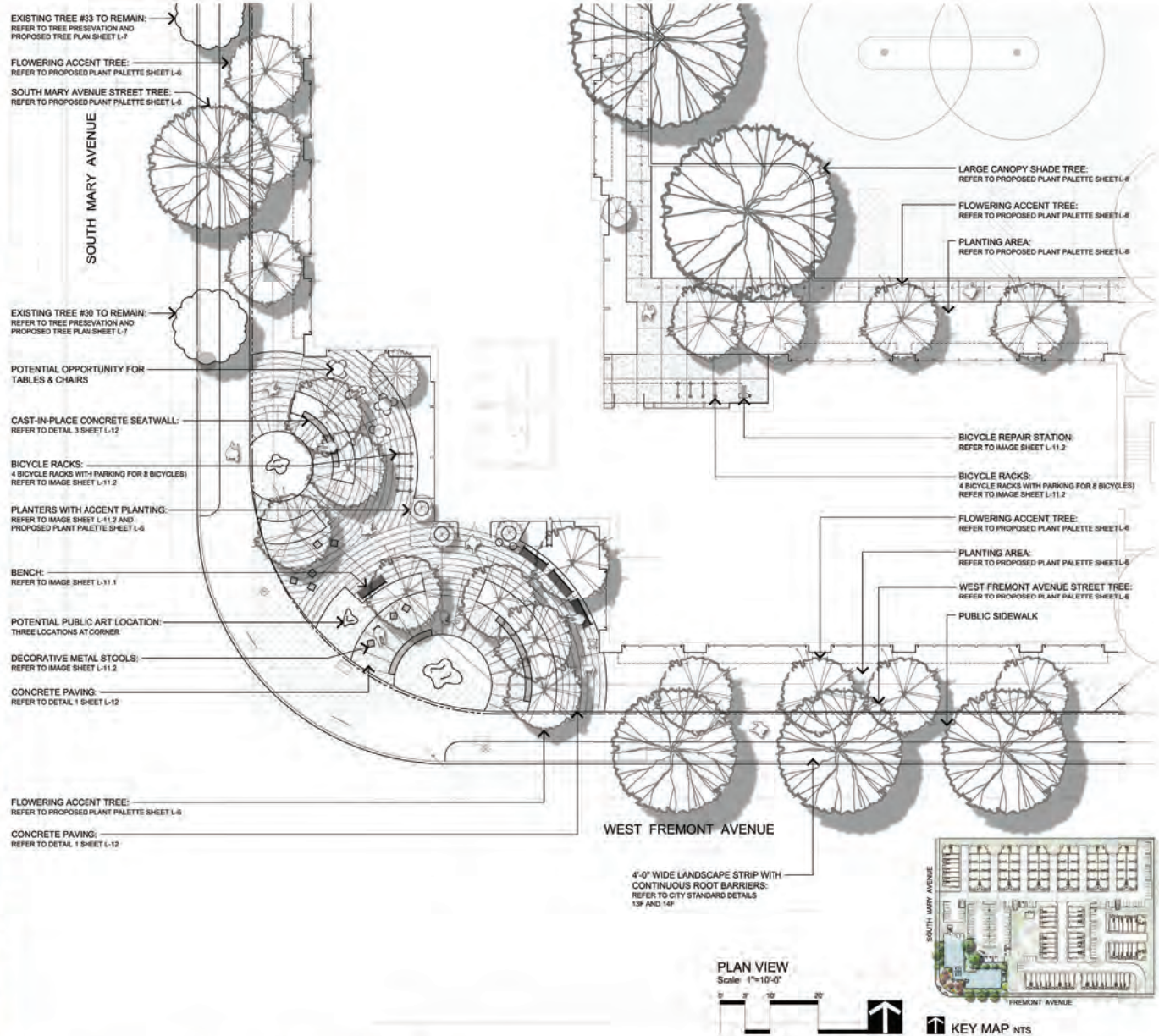




CONCEPTUAL IMAGERY

04.19.23

L-5 COMMERCIAL BUILDING FRONTAGE ENLARGEMENT



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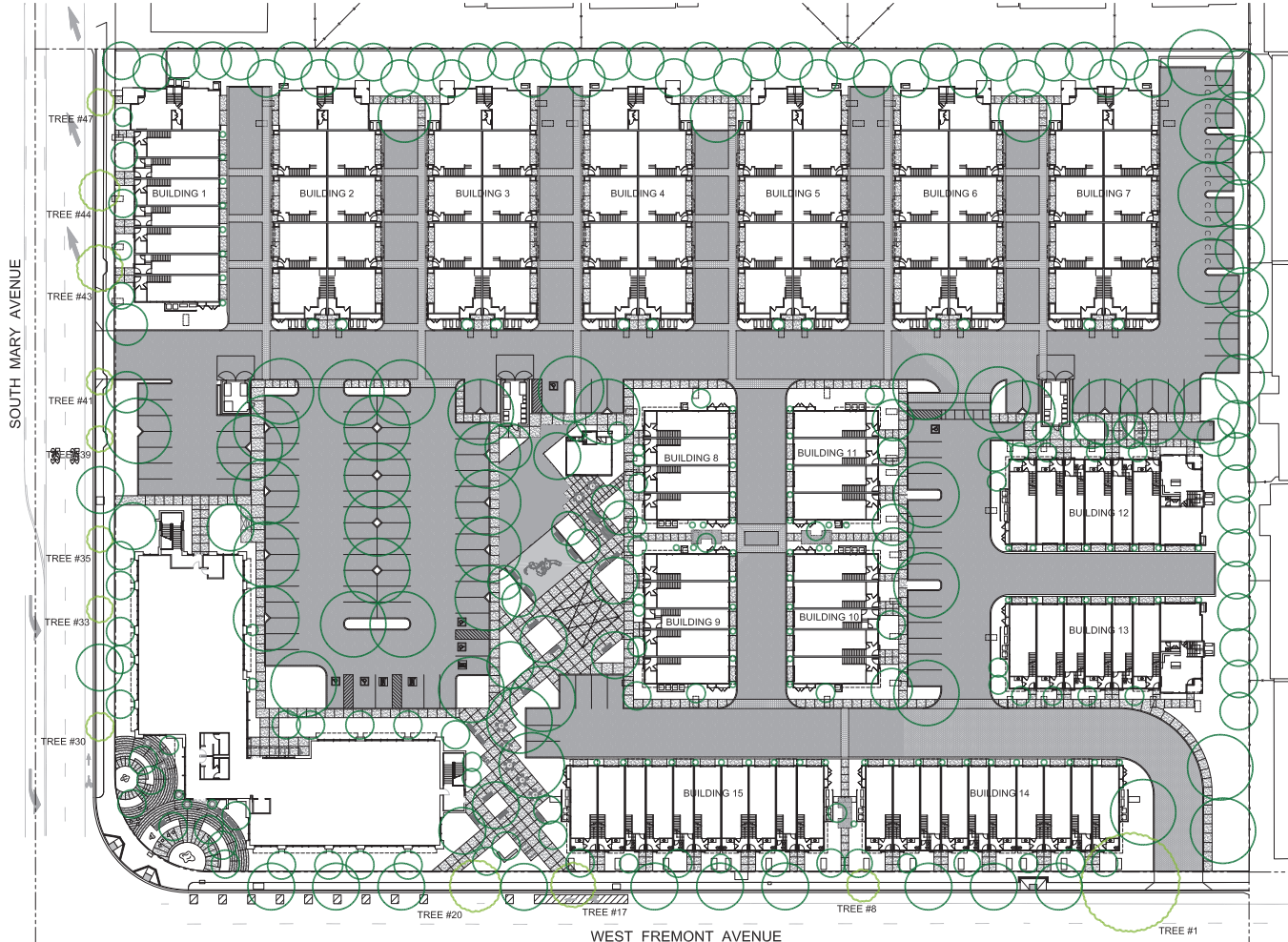
PROPOSED PLANT PALETTE

BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	SPACING	WULCOLS	TREE QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	SPACING	WULCOLS
SOUTH MARY AVENUE STREET TREE:						VINES:				
ORNAMOMUM CAMPHORA	CAMPHOR TREE	24" BOX	N/A	L	2	CAMPSES RADICANS 'MONBAL'	BALBOA SUNSET TRUMPET VINE	5 GALLON	N/A	L
						OSTICUS SPECIES	SCARLET TRUMPET VINE	5 GALLON	N/A	M
						GELSEMIUM SEMPERVIRENS	CAROLINA JASMINE	5 GALLON	N/A	L
						JASMINUM POLYANTHUM	PINK JASMINE	5 GALLON	N/A	M
						PARTHENDOCISSUS TRICUSPIDATA	BOSTON IVY	5 GALLON	N/A	L
						ROSA SPECIES	CURLING ROSE	5 GALLON	N/A	M
WEST FREMONT AVENUE STREET TREE:						GROUND COVER:				
QUERCUS SHUMARDI	SHUMARDI OAK	24" BOX	N/A	L	10	* ARCTOSTAPHYLOS SPECIES	MANZANITA	1 GALLON	3" O.C.	L
						CONVOLVULUS SABATIUS	GROUND MORNING GLORY	1 GALLON	3" O.C.	L
						COPROSMA NINNI 'PROSTATUS'	NCH	1 GALLON	18" O.C.	L
						GERANIUM SPECIES	GERANIUM	1 GALLON	VARIES	M
						GROVILEA LANGEIRA 'COASTAL GEM'	NCH	1 GALLON	3" O.C.	L
						NEPETA SPECIES	CAT MINT	1 GALLON	VARIES	L
						ROSA SPECIES	GROUND COVER ROSE	2 GALLON	2" O.C.	L
						TEUCRIUM SPECIES	GERMANDER	1 GALLON	2" O.C.	L
						WESTRINGIA MUNDT	LOW COAST ROSEMARY	1 GALLON	2" O.C.	L
						* ZAUSSCHNERIA SPECIES	CALIFORNIA FUCHSIA	1 GALLON	VARIES	L
PARKING LOT AND INTERNAL STREET TREE:						GRASSES:				
ACER RUBRUM 'RED SUNSET'	RED MAPLE	24" BOX	N/A	L	43	* CALAMAGROSTIS SPECIES	FEATHER REED GRASS	1 GALLON	VARIES	M
						* FESTUCA SPECIES	FESCUE	1 GALLON	3" O.C.	L
						HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GALLON	2" O.C.	L
						* MUhlenBERGIA SPECIES	DEER GRASS	1 GALLON	4" O.C.	L
						LOMANDRA SPECIES	NCH	1 GALLON	VARIES	L
ACCENT TREES:						SUCCULENTS:				
ACER PLATINUM 'BI HOU'	NCH	24" BOX	N/A	M	8	AGAVE ATTENUATA	FOXTAIL AGAVE	2 GALLON	N/A	L
ACER RUBRUM SPECIES	RED MAPLE	24" BOX	N/A	L	5	AEONIUM SPECIES	NCH	1 GALLON	18" O.C.	L
CERCIS CANADENSIS SPECIES	EASTERN REDBUD	24" BOX	N/A	M	3	ALOE SPECIES	ALOE	5 GALLON	N/A	L
CHONANTHUS RETIUSUS	FRINGE TREE	24" BOX	N/A	M	3					
CORNUS TODDII 'WHITE WONDER'	FLOWERING DOGWOOD	24" BOX	N/A	M	5					
LAGERSTROEMIA FAUREI SPECIES	CRAPE MYRTLE	24" BOX	N/A	L	14					
MAGNOLIA 'LITTLE GEM'	NCH	24" BOX	N/A	M	16					
MALUS SPECIES	FLOWERING CRAB APPLE	24" BOX	N/A	M	6					
OLEA EUROPAEA 'SKYLARK'	SKYLARK OLIVE	24" BOX	N/A	L	3					
OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE	24" BOX	N/A	L	2					
PRUNUS SPECIES	FLOWERING CHERRY	24" BOX	N/A	L	9					
RHUS LANCEA	AFRICAN SUMAC	36" BOX	N/A	M	6					
EVERGREEN SCREEN TREES:						* NATIVE CALIFORNIA PLANT SPECIES				
ARBUTUS 'MARINA'	NCH	24" BOX	N/A	L	6					
* CALOCEDRUS DECURRENS	INCENSE CEDAR	24" BOX	N/A	L	2					
ELAEAGNUS SPECIES	ELDERBERRY TREE	24" BOX	N/A	L	13					
* LAURUS NOBILIS SPECIES	SWEET BAY	24" BOX	N/A	L	12					
LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	N/A	L	4					
PODOCARPUS MACROPHYLLA (COLUMN FORM)	YEW PINE	24" BOX	N/A	M	76					
PITTOSPORUM EUGENODES	LEMONWOOD	24" BOX	N/A	L	36					
PRUNUS CAROLINANA	NCH	24" BOX	N/A	L	22					
TRISTANIA LAURINA 'ELEGANT'	WATER GUM	24" BOX	N/A	L	6					
BACKGROUND/FOUNDATION SHRUBS:										
ABELIA SPECIES	LIQUIEA	5 GALLON	N/A	M						
BUXUS SPECIES	BOXWOOD	5 GALLON	3" O.C.	M						
CALLISTEMON 'BETTER JOHN'	DWARF BOTTLEBRUSH	5 GALLON	3" O.C.	L						
COPROSMA SPECIES	NCH	5 GALLON	3" O.C.	L						
EUONYMUS SPECIES	EUONYMUS	5 GALLON	4" O.C.	L						
LOROPETALUM CHINENSE	NCH	5 GALLON	4" O.C.	L						
* MAHONIA SPECIES	OREGON GRAPE	5 GALLON	3" O.C.	M						
MYRTLE SPECIES	MYRTLE	5 GALLON	3" O.C.	M						
PITTOSPORUM SPECIES	TOBIRA	5 GALLON	3" O.C.	L						
RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	COFFEEBERRY	5 GALLON	4" O.C.	L						
RHAPHALEPS INDICA SPECIES	INDIAN HAWTHORN	5 GALLON	4" O.C.	L						
WESTRINGIA FRUTICOSA	NCH	5 GALLON	3" O.C.	L						
TEUCRIUM CHAMAEDRYS 'COMPACTA'	GERMANDER	5 GALLON	3" O.C.	L						
INTERMEDIATE SIZE SHRUBS:										
BARBERRY SPECIES	BARBERRY	5 GALLON	3" O.C.	M						
CORREA SPECIES	AUSTRALIAN FUCHSIA	5 GALLON	VARIES	L						
DANIELIA SPECIES	FLAX LILY	5 GALLON	3" O.C.	L						
DIETES SPECIES	FORTNIGHT LILY	5 GALLON	3" O.C.	L						
* GALVEZIA SPECIES	CALIFORNIA SNAPDRAGON	5 GALLON	3" O.C.	L						
LAVANDULA SPECIES	LAVENDER	5 GALLON	3" O.C.	L						
LIRIOPE GIGANTEA	LILY TURF	5 GALLON	2" O.C.	M						
POLYSTICHUM MUNITUM	SWORD FERN	1 GALLON	VARIES	L						
* ROSA SPECIES	ROSE	2 GALLON	3" O.C.	M						
* SALVIA GREGGII	SAGE	5 GALLON	3" O.C.	L						
FOREGROUND SHRUBS:										
AGAPANTHUS SPECIES	LILY OF THE NILE	1 GALLON	18" O.C.	L						
ANGIOZANTHUS SPECIES	DWARF KANGAROO PAWS	1 GALLON	18" O.C.	L						
BULBINE PROTENSUS	NCH	1 GALLON	30" O.C.	L						
DANIELIA SPECIES	FLAX LILY	1 GALLON	30" O.C.	L						
HEMEROCALLIS SPECIES	EVERGREEN DAYLILY	1 GALLON	2" O.C.	M						
LAVANDULA SPECIES	LAVENDER	5 GALLON	3" O.C.	L						
LIRIOPE SPECIES	BIG BLUE LILY TURF	1 GALLON	18" O.C.	M						
NANDINA SPECIES	HEAVENLY BAMBOO	5 GALLON	3" O.C.	L						
PHORADENDRUM SPECIES	NEW ZEALAND FLAX	5 GALLON	3" O.C.	L						
RUCELLA SPECIES	NCH	5 GALLON	3" O.C.	L						
SANTOLINA SPECIES	LAVENDER COTTON	5 GALLON	3" O.C.	L						
TEUCRIUM SPECIES	GERMANDER	1 GALLON	18" O.C.	L						

NOTES

BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	SPACING	WULCOLS	WATER CONSERVATION STATEMENT:
					PLANT MATERIAL HAS BEEN CHOSEN FOR WATER CONSERVING AND REDUCED MAINTENANCE CHARACTERISTICS. A MAXIMUM OF 25% OF NON-TURF PLANTS WILL HAVE A MODERATE IRRIGATION WATER REQUIREMENT AND A MINIMUM OF 50% OF NON-TURF PLANTS WILL HAVE A LOW TO VERY LOW IRRIGATION WATER REQUIREMENT.
					IRRIGATION NOTE:
					A FULLY AUTOMATIC IRRIGATION SYSTEM SHALL BE PROPOSED FOR THE PROJECT UTILIZING WATER CONSERVING METHODS. IRRIGATION SHALL BE INSTALLED THROUGHOUT THE SITE RETENTION AREAS TO PROVIDE SUPPLEMENTAL IRRIGATION IN THE DRY MONTHS WITH REDUCED IRRIGATION DURING SEASONAL RAINFALL OR WET MONTHS.
					MINIMUM TREE CLEARANCE NOTE:
					1. SMALL TREES (15' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 6' FROM BUILDINGS AND A MINIMUM OF 2' FROM EDGES OF PAVING, CURBS OR WALLS.
					2. MEDIUM TREES (25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 10' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
					3. LARGE TREES (ABOVE 25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 15' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
					4. 5' MINIMUM FROM JOINT TRENCH, WATER LINES, WATER METERS AND FIRE HYDRANTS.
					5. 8' MINIMUM FROM SANITARY SEWER AND STORM DRAINS.
					6. ALL TREES PLANTED WITHIN 5'-0" OF FUTURE CURBS, SIDEWALK, WALLS AND ALL UTILITIES, SHALL INCLUDE A ROOT BARRIER.
					LANDSCAPE NOTES:
					PLANT PALETTE IS FOR REFERENCE ONLY. NOT ALL TREES, SHRUBS, GRASSES, AND GROUND COVER LISTED WILL BE UTILIZED IN THE PREPARATION OF CONSTRUCTION DOCUMENTS. ADDITIONAL PLANTS MAY BE SUBSTITUTED DUE TO AVAILABILITY AND DESIRED CONTAINER SIZE. PLANT MATERIAL SHALL BE SELECTED AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
					LANDSCAPING SHALL BE OF THE TYPE AND SITUATED IN LOCATIONS TO MAXIMIZE OBSERVATION WHILE PROVIDING THE DESIRED DEGREE OF AESTHETICS. LANDSCAPING SHOULD BE TRIMMED SO AS NOT TO PROVIDE CONCEALMENT OPPORTUNITIES OR MEANS TO ACCESS ROOF, SECURITY PLANTING MATERIALS ARE ENCOURAGED ALONG PROPERTY LINE AND UNDER VULNERABLE WINDOWS.
					ALL TRANSFORMERS AND UTILITY BOXES TO BE SCREENED WITH EVERGREEN SHRUBS.
					SEVERAL TREE SPECIES ARE LISTED PER TREE TYPE TO ALLOW FOR FLEXIBILITY IN THE EVENT THAT A SPECIFIC SPECIES IS UNAVAILABLE AT INSTALLATION OR PLANTING AREA IS LIMITED BY UTILITIES. NOT ALL SPECIES OF TREES, SHRUBS, GROUND COVERS OR GRASS WILL BE PROPOSED FOR CONSTRUCTION DOCUMENTS.

SOUTH MARY AVENUE



WEST FREMONT AVENUE

TREE COUNTS

TOTAL NUMBER OF TREES TO BE REMOVED: 96

TOTAL NUMBER OF TREES TO BE PRESERVED: 12

NUMBER OF 24" BOX TREES REQUIRED: 122

TOTAL NUMBER OF PROPOSED 24" BOX TREES: 312

TREE TO BE REMOVED	REPLACEMENT TREE(S)
12" - 16" DIAMETER (36"-56" CIRCUMFERENCE)	ONE 24" BOX TREE OR THREE 15 GALLON TREES
18" - 24" DIAMETER (56"-75" CIRCUMFERENCE)	ONE 36" BOX TREE OR TWO 24" BOX TREES
OVER 24" DIAMETER (GREATER THAN 75" CIRCUMFERENCE)	ONE 48" BOX TREE OR TWO 36" BOX TREES OR FOUR 24" BOX TREES

PLAN VIEW

Scale: 1"=30'-0"



TREE NO.	SPECIES	HERITAGE TREE	PROPOSED ACTION	TREE DIAMETER	REPLACEMENT TREE SIZE	REPLACEMENT QUANTITY
1	HOLLY OAK	YES	PRESERVE	22"		
2	JUNIPER SP.	YES	REMOVE	9", 4", 3", 2"	24" BOX	2
3	JUNIPER SP.	YES	REMOVE	9"	24" BOX	
4	JUNIPER SP.	NO	REMOVE	12"	24" BOX	1
5	JUNIPER SP.	NO	REMOVE	12"	24" BOX	1
6	JUNIPER SP.	NO	REMOVE	10", 11"	24" BOX	2
7	JUNIPER SP.	NO	REMOVE	8"	24" BOX	
8	HOLLY OAK	YES	PRESERVE	23"	24" BOX	2
9	JUNIPER SP.	NO	REMOVE	8"	24" BOX	
10	JUNIPER SP.	YES	REMOVE	9", 6"	24" BOX	1
11	JUNIPER SP.	NO	REMOVE	11"	24" BOX	
12	JUNIPER SP.	YES	REMOVE	10"	24" BOX	
13	CANARY ISLAND PINE	NO	REMOVE	28"	24" BOX	4
14	JUNIPER SP.	NO	REMOVE	11"	24" BOX	
15	JUNIPER SP.	YES	PRESERVE	10"	24" BOX	
16	JUNIPER SP.	YES	PRESERVE	10"	24" BOX	
17	HOLLY OAK	YES	PRESERVE	14"		
18	JUNIPER SP.	YES	REMOVE	22"	24" BOX	2
19	JUNIPER SP.	NO	REMOVE	7"	24" BOX	
20	HOLLY OAK	YES	PRESERVE	18"		
21	JUNIPER SP.	NO	REMOVE	6"	24" BOX	
22	JUNIPER SP.	NO	REMOVE	10"	24" BOX	
23	HOLLY OAK	YES	REMOVE	17"	24" BOX	1
24	JUNIPER SP.	YES	REMOVE	13"	24" BOX	1
25	JUNIPER SP.	NO	REMOVE	11"	24" BOX	
26	JUNIPER SP.	YES	REMOVE	12"	24" BOX	1
27	JACARANDA	NO	REMOVE	5"	24" BOX	
28	JACARANDA	NO	REMOVE	5"	24" BOX	
29	JUNIPER SP.	YES	REMOVE	13", 11"	24" BOX	1
30	SOUTHERN MAGNOLIA	NO	PRESERVE	9"		
31	JUNIPER SP.	NO	REMOVE	11"	24" BOX	
32	JUNIPER SP.	YES	REMOVE	13", 15"	24" BOX	1
33	SOUTHERN MAGNOLIA	NO	PRESERVE	9"		
34	JUNIPER SP.	YES	REMOVE	13"	24" BOX	1
35	SOUTHERN MAGNOLIA	NO	PRESERVE	6"		
36	JUNIPER SP.	YES	REMOVE	13"	24" BOX	1
37	JUNIPER SP.	NO	REMOVE	10", 7", 5"	24" BOX	2
38	JUNIPER SP.	NO	REMOVE	8"	24" BOX	
39	SOUTHERN MAGNOLIA	NO	PRESERVE	8"		
40	JUNIPER SP.	YES	REMOVE	13"	24" BOX	1
41	SOUTHERN MAGNOLIA	NO	PRESERVE	10"		
42	JUNIPER SP.	YES	REMOVE	12"	24" BOX	1
43	SOUTHERN MAGNOLIA	NO	PRESERVE	10"		
44	SOUTHERN MAGNOLIA	NO	PRESERVE	10"		
45	OLIVE	YES	REMOVE	13", 10"	24" BOX	2
46	OLIVE	YES	REMOVE	13"	24" BOX	1
47	SOUTHERN MAGNOLIA	YES	PRESERVE	23"		
48	SWEETGUM	YES	REMOVE	25"	24" BOX	4
49	GINKGO	YES	REMOVE	24"	24" BOX	4
50	GINKGO	YES	REMOVE	12"	24" BOX	1
51	GINKGO	YES	REMOVE	11", 8", 6"	24" BOX	4
52	GINKGO	YES	REMOVE	15"	24" BOX	1
53	SILVER MAPLE	YES	REMOVE	27"	24" BOX	4
54	CHINESE ELM	YES	REMOVE	20"	24" BOX	2
55	CHINESE ELM	YES	REMOVE	19"	24" BOX	2
56	GINKGO	YES	REMOVE	24"	24" BOX	4
57	GINKGO	YES	REMOVE	25"	24" BOX	4
58	CHINESE ELM	YES	REMOVE	16"	24" BOX	1
59	CHINESE ELM	YES	REMOVE	19"	24" BOX	2
60	GINKGO	YES	REMOVE	28"	24" BOX	4
61	SWEETGUM	YES	REMOVE	28"	24" BOX	2
62	GINKGO	YES	REMOVE	25"	24" BOX	4
63	GINKGO	NO	REMOVE	6"	24" BOX	
64	CANARY ISLAND PINE	YES	REMOVE	44"	24" BOX	4
65	NORWAY MAPLE	NO	REMOVE	8"	24" BOX	
66	NORWAY MAPLE	NO	REMOVE	10"	24" BOX	
67	NORWAY MAPLE	NO	REMOVE	9"	24" BOX	
68	PURPLE-LEAF PLUM	NO	REMOVE	8"	24" BOX	
69	PURPLE-LEAF PLUM	NO	REMOVE	8"	24" BOX	
70	CHINESE ELM	YES	REMOVE	16"	24" BOX	1
71	CHINESE ELM	YES	REMOVE	14"	24" BOX	1
72	CHINESE PISTACHE	NO	REMOVE	6"	24" BOX	
73	CHINESE PISTACHE	NO	REMOVE	6"	24" BOX	
74	CHINESE PISTACHE	NO	REMOVE	6"	24" BOX	
75	JAPANESE MAPLE	NO	REMOVE	7", 7", 5"	24" BOX	1
76	GINKGO	YES	REMOVE	14"	24" BOX	1
77	JAPANESE MAPLE	NO	REMOVE	11", 9", 8"	24" BOX	4
78	JAPANESE MAPLE	YES	REMOVE	14", 12"	24" BOX	2
79	CHINESE ELM	YES	REMOVE	12"	24" BOX	1
80	CHINESE PISTACHE	NO	REMOVE	6"	24" BOX	
81	GRAPE MYRTLE	NO	REMOVE	4"	24" BOX	
82	GRAPE MYRTLE	NO	REMOVE	4"	24" BOX	
83	GRAPE MYRTLE	NO	REMOVE	4"	24" BOX	
84	GRAPE MYRTLE	NO	REMOVE	4"	24" BOX	
85	HOLLY OAK	YES	REMOVE	21"	24" BOX	2
86	CHINESE ELM	YES	REMOVE	13"	24" BOX	1
87	MONTREY PINE	YES	REMOVE	3"	24" BOX	4
88	CHINESE ELM	YES	REMOVE	13"	24" BOX	1
89	MONTREY PINE	YES	REMOVE	35"	24" BOX	4
90	CHINESE ELM	YES	REMOVE	13"	24" BOX	1
91	ITALIAN BUCKHORN	NO	REMOVE	5"	24" BOX	
92	ITALIAN BUCKHORN	NO	REMOVE	4"	24" BOX	
93	MONTREY PINE	YES	REMOVE	41"	24" BOX	4
94	ITALIAN BUCKHORN	NO	REMOVE	5", 3"	24" BOX	
95	ITALIAN BUCKHORN	NO	REMOVE	5", 3"	24" BOX	
96	MONTREY PINE	YES	REMOVE	34"	24" BOX	4
97	HOLLY OAK	NO	REMOVE	9", 4", 3", 2", 2", 2"	24" BOX	2
98	HOLLY OAK	YES	REMOVE	14"	24" BOX	1
99	CANARY ISLAND PINE	YES	REMOVE	33"	24" BOX	4
100	HOLLY OAK	NO	REMOVE	10", 8"	24" BOX	1
101	HOLLY OAK	NO	REMOVE	10"	24" BOX	
102	HOLLY OAK	NO	REMOVE	8"	24" BOX	
103	HOLLY OAK	NO	REMOVE	8"	24" BOX	
104	HOLLY OAK	NO	REMOVE	7"	24" BOX	
105	CHINESE PISTACHE	NO	REMOVE	7"	24" BOX	
106	GRAPE MYRTLE	NO	REMOVE	4"	24" BOX	
107	CAMPOR	YES	REMOVE	25"	24" BOX	2
108	CANARY ISLAND PINE	YES	REMOVE	32"	24" BOX	4
REPLACEMENT TREE TOTALS						122

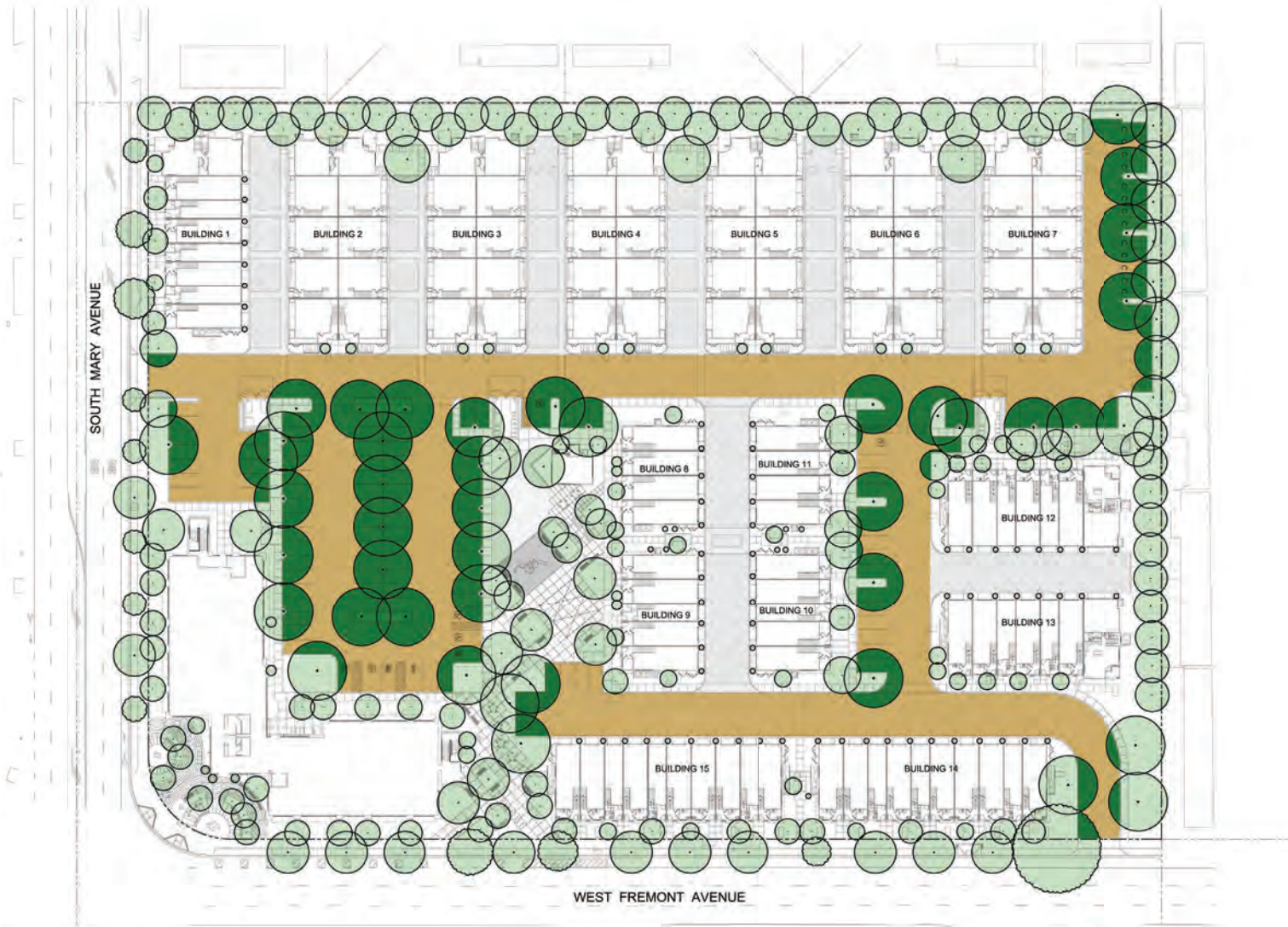
04.19.23

L-7 TREE PRESERVATION AND PROPOSED TREE PLAN

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LANDSCAPE ARCHITECTURE
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PARKING SHADE COVERAGE

	PARKING AREA: 64,690 S.F.
	OVERALL SITE TOTAL TREE CANOPY COVERAGE: 96,700 S.F.
	PARKING AREA TREE CANOPY COVERAGE: 23,890 S.F.
	PARKING AREA SHADE COVERAGE: 37.6%

NOTE: TREE CANOPIES ARE ESTIMATED BASED ON APPROXIMATE SIZES AT 10-15 YEARS OF GROWTH

PLAN VIEW

Scale: 1"=30'-0"



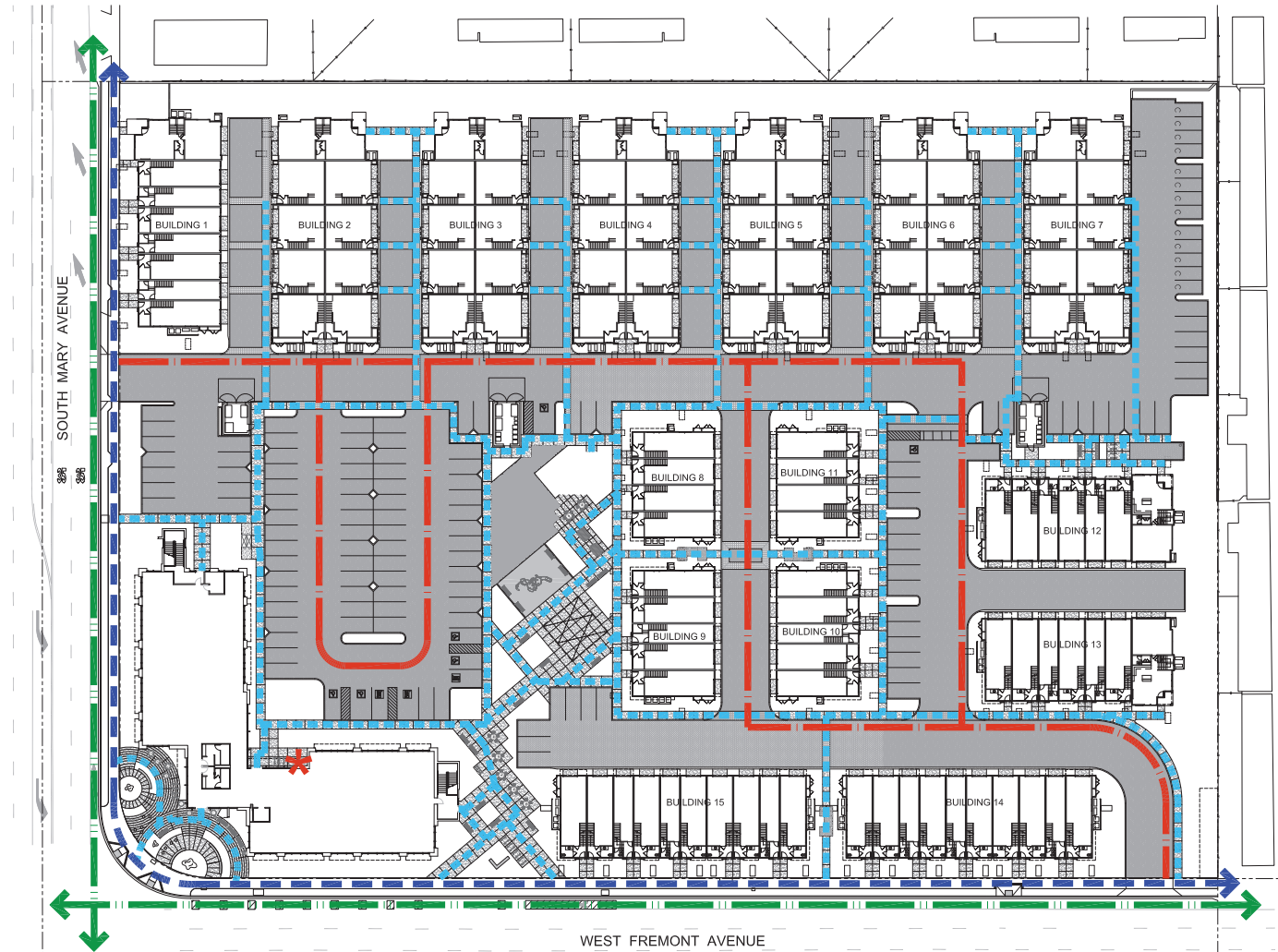
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L-8 PARKING SHADE COVERAGE ANALYSIS

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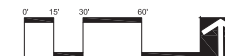




KEY

- PEDESTRIAN CIRCULATION ON PUBLIC SIDEWALK
- PEDESTRIAN CIRCULATION ON PRIVATE WALKWAYS AND SIDEWALKS
- BICYCLE ROUTE (PRIVATE STREET/PATH)
- * BICYCLE REPAIR STATION; REFER TO IMAGE SHEET L-11,2
- CLASS II BICYCLE ROUTE

PLAN VIEW
Scale: 1"=30'-0"



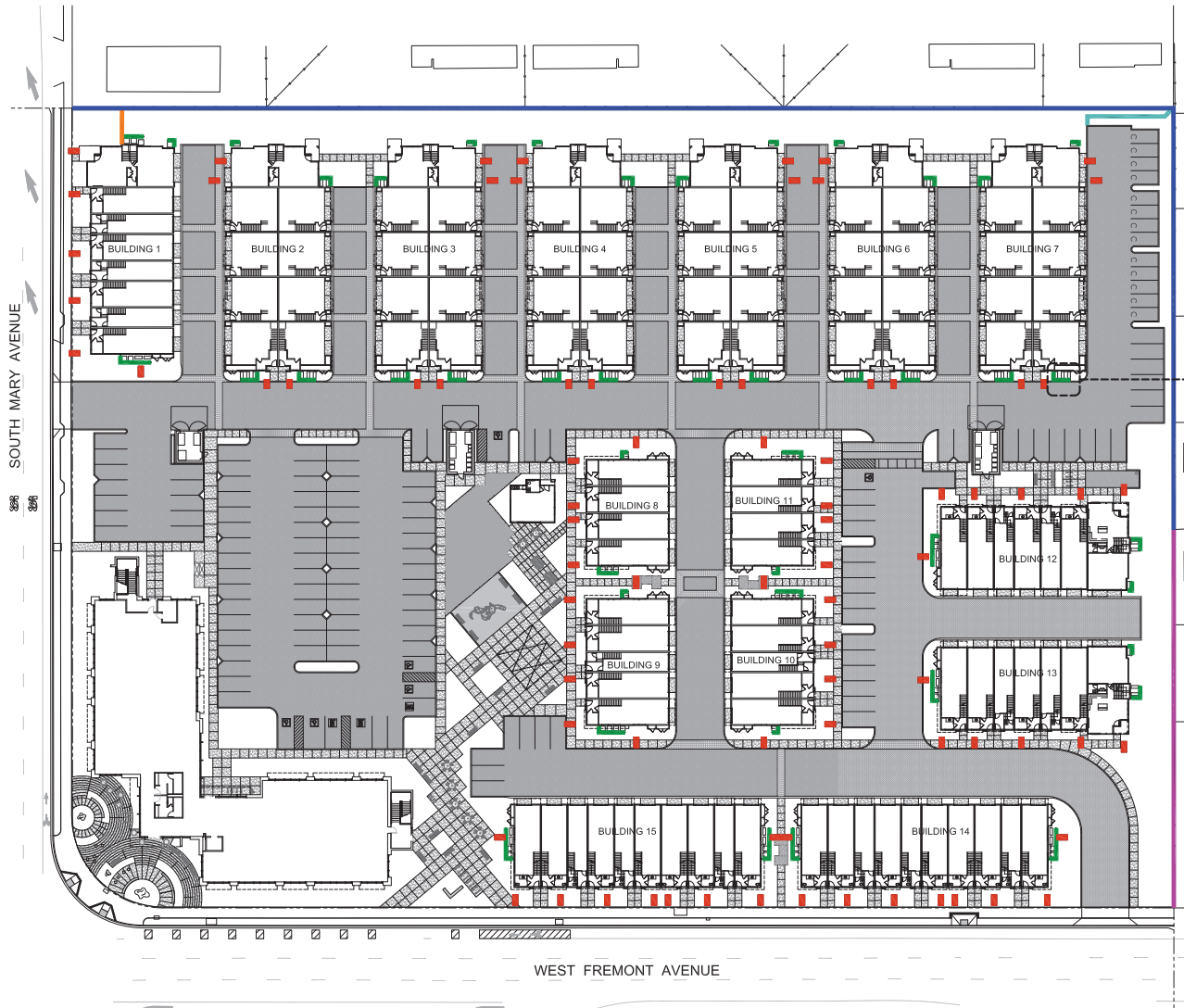
04.19.23

L-9 CIRCULATION PLAN

FOOTHILL VILLAGE CENTER, FMDC SUNNYVALE, CALIFORNIA

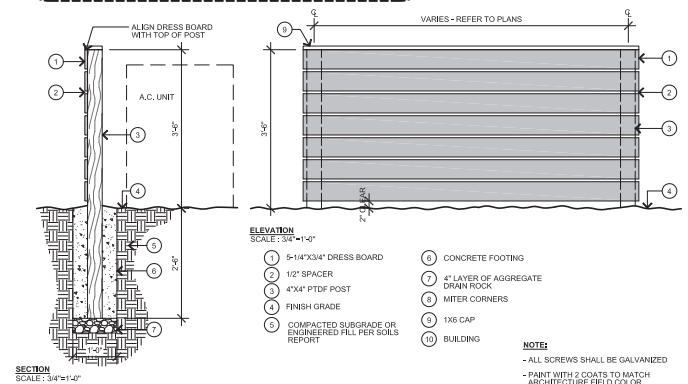
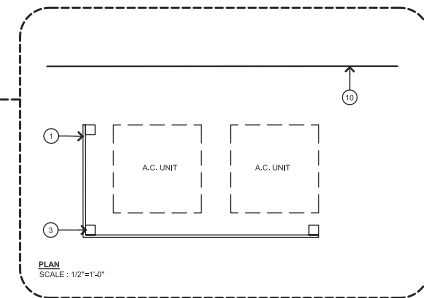
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KEY

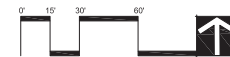
- 8'-0" WOOD FENCE OVER RETAINING WALL - REFER TO DETAIL 1 SHEET L-10.2
- EXISTING WOOD FENCE TO BE REPLACED WITH NEW 6" TO 8" GOOD NEIGHBOR WOOD FENCE PER AGREEMENT WITH NEIGHBORS
- 8'-0" WOOD FENCE - REFER TO DETAIL 2 SHEET L-10.2
- RETAINING WALL - REFER TO PLANS PREPARED BY WOOD RODGERS CIVIL ENGINEERS
- AIR CONDENSER SCREEN - REFER TO DETAIL 1 THIS SHEET
- LADDER PAD (SIZE: 3'-0" X 6'-0") - REFER TO PLANS PREPARED BY WOODLEY ARCHITECTURAL GROUP



1 AIR CONDENSER SCREEN

- NOTE:**
- ALL SCREWS SHALL BE GALVANIZED
 - PAINT WITH 2 COATS TO MATCH ARCHITECTURE FIELD COLOR

PLAN VIEW
Scale: 1"=30'-0"



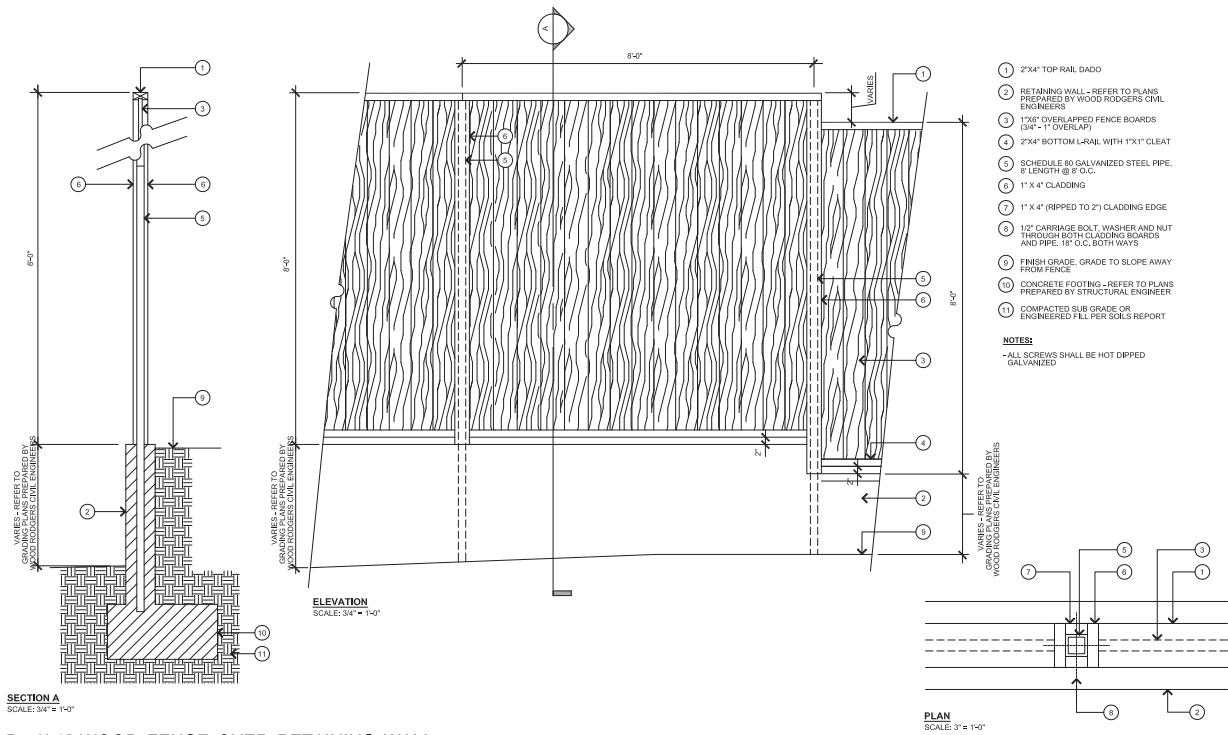
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L-10.1 FENCING AND LADDER PAD LOCATION PLAN

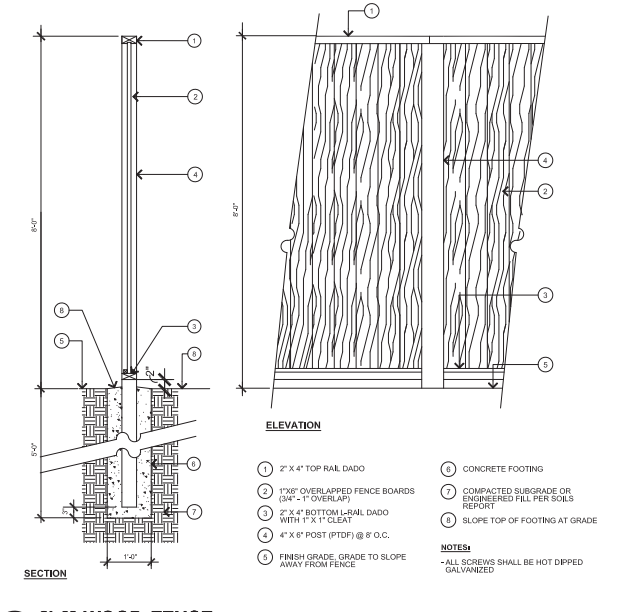
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1 8'-0" WOOD FENCE OVER RETAINING WALL



2 8'-0" WOOD FENCE



FIELD COLOR: FOUNDRY
FIELD PATTERN: HERRINGBONE



CROSSWALK COLOR: GRAPHITE
CROSSWALK PATTERN: RUNNING BOND

PERMEABLE PAVERS

80MM THICKNESS



BENCH

FRAME FINISH TO BE BRONZE



WASTE AND RECYCLING RECEPTACLES

FRAME FINISH TO BE BRONZE



BACKLESS BENCH

FRAME FINISH TO BE BRONZE



BICYCLE RACK

FINISH TO BE BRONZE



BICYCLE LOCKER

FINISH TO BE QUARTZ GREY



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L-11.1 SITE FURNITURE

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TABLE AND CHAIRS

FRAME FINISH TO BE DEEP RED



PICNIC TABLES AND BENCHES

FINISH TO BE BRONZE



DECORATIVE METAL STOOLS

STOOLS TO BE LEXICON SERIES, ACCENT COLORS, FROM MAGLIN (WWW.MAGLIN.COM)



BICYCLE REPAIR STATION

FINISH TO BE RED



MAILBOX STATION

FINISH TO BE BRONZE



PET WASTE STATION

FINISH TO BE BLACK



PLANTERS

FINISH TO BE COORDINATED WITH FINAL ARCHITECTURE ELEVATION COLORS

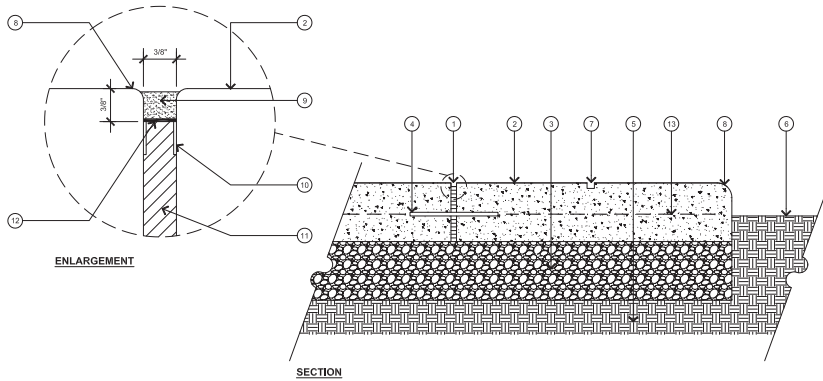
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L-11.2 SITE FURNITURE

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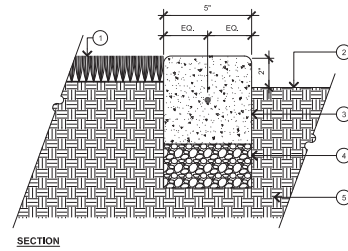
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- 1 3/8" EXPANSION JOINT WITH SEALANT & SACKER ROD. EXPANSION JOINTS SHALL OCCUR EVERY 25' O.C. EACH WAY-REFER TO PLAN FOR LOCATIONS
- 2 4" THICK CONCRETE PAVING
- 3 4" THICK CLASS II AGGREGATE SUB BASE
- 4 #4 X 24" LONG DOWELS @ 24" O.C.
- 5 90% COMPACTED SUB GRADE
- 6 FINISH GRADE AT PLANTING AREA 1" BELOW AT TURF AREAS, 2" AT SHRUB AND GROUND COVER AREAS
- 7 SCORED JOINT- 1" DEEP X 1/8" WIDE SAWCUT @ 12" O.C. EACH WAY, REFER TO PLANS FOR LOCATIONS (TYP.)
- 8 RADIUS EDGE
- 9 SEALANT - ALSO INSTALL WHERE PAVING ADJUTS TO BUILDING FOUNDATIONS
- 10 PVC CAP
- 11 EXPANSION MATERIAL
- 12 BOND BREAKER TAPE
- 13 #3 REBAR @ 18" O.C. BOTH WAYS

NOTE:
CONCRETE MIX SHALL BE LOW SHRINK.



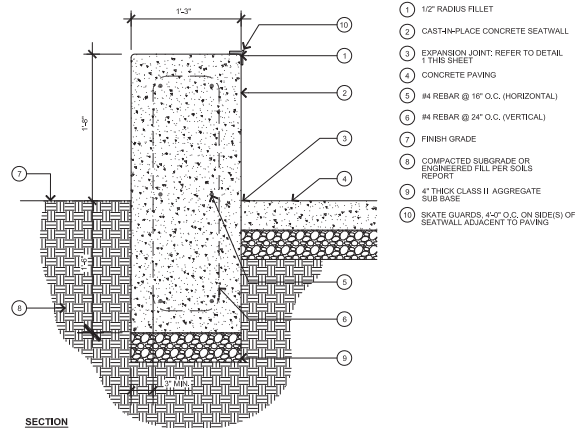
- 1 TURF
- 2 FINISH GRADE (PLANTING AREA)
- 3 5" WIDE CONCRETE MOWBAND
- 4 3" LAYER CLASS II AGGREGATE SUBBASE
- 5 COMPACTED SUBGRADE OR ENGINEERED FILL REFER TO SOILS REPORT

1 CONCRETE PAVING

SCALE : 3/8"=1'-0"

2 CONCRETE BAND AT TURF

SCALE : 3/8"=1'-0"



- 1 1/2" RADIUS FILLET
- 2 CAST-IN-PLACE CONCRETE SEATWALL
- 3 EXPANSION JOINT; REFER TO DETAIL THIS SHEET
- 4 CONCRETE PAVING
- 5 #4 REBAR @ 16" O.C. (HORIZONTAL)
- 6 #4 REBAR @ 24" O.C. (VERTICAL)
- 7 FINISH GRADE
- 8 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 9 4" THICK CLASS II AGGREGATE SUB BASE
- 10 SKATE GUARDS, 4'-0" O.C. ON SIDE(S) OF SEATWALL ADJACENT TO PAVING



3 CAST-IN-PLACE CONCRETE SEATWALL

SCALE : 1/4"=1'-0"

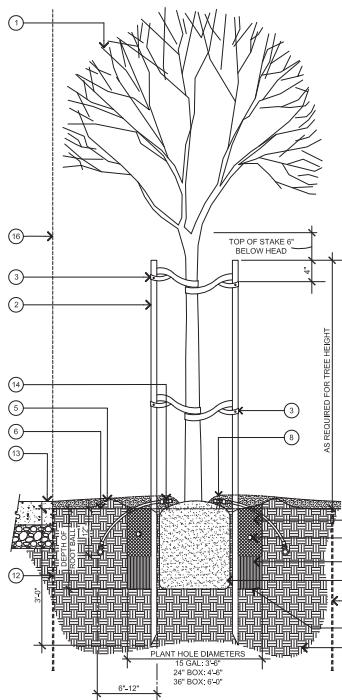
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L-12 CONSTRUCTION DETAILS

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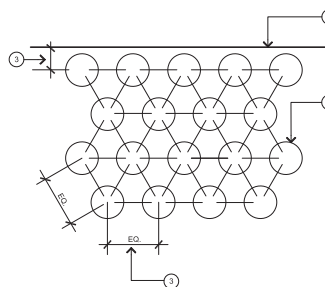
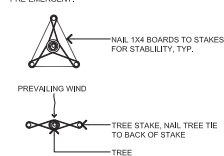
1 TREE STAKING

N.T.S.

- 1 TREE: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 2 LODGE POLE PINE TREE STAKES: 2"x12" LONG TREE STAKES FOR WINOY CONDITIONS AND 30" BOX AND LARGER TREES
- 3 TREE TIE: WONDER TREE-TIE (800-410-2810) MODEL# W14-4E, W24-4A OR APPROVED EQUAL. LOOP IN A FIGURE EIGHT AND NAIL TO BACK OF STAKE WITH GALVANIZED THREADED NAILS. ALLOW 2" OF MOVEMENT OF TREE IN ALL DIRECTIONS.
- 4 TREE ROOTBALL SET ON 12" LAYER UNDISTURBED NATIVE SOIL. DO NOT PENETRATE ROOTBALL WITH STAKES. TAMP SOIL TO 85% RELATIVE COMPACTION, SET CROWN OF ROOTBALL 2" ABOVE FINISH GRADE.
- 5 3" EARTH BERM FOR WATER BASIN
- 6 FINISH GRADE, SET 1" BELOW AT TURF AREAS AND 2" AT SHRUB AND GROUND COVER AREAS
- 7 BACK FILL MIX: (TOP 12 INCHES ONLY): 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
- 8 BARK MULCH: 3" DEPTH, KEEP CLEAR FROM TRUNK OF TREE
- 9 PULVERIZED NATIVE SOIL
- 10 FERTILIZER TABS (21 GRAM, 20-10-5):
- 15 GAL: 6 TABS
- 24" BOX: 3 TABS
- 36" BOX: 12 TABS
- 11 PLANTING HOLE, PULVERIZED NATIVE SOIL BELOW 12" FROM FINISHED GRADE, SCARIFY WALLS
- 12 ROOT BARRIER (AS NEEDED): REFER TO PLANTING NOTES AND SPECIFICATIONS
- 13 PAVING: REFER TO PLAN
- 14 1/4 GPM IRRIGATION BUBBLER, OFFSET FROM TREE TUCKED TO ROOTBALL
- 15 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 16 BUILDING OR WALL (VARIES - SEE PLAN)

NOTES:

- 1 ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT.



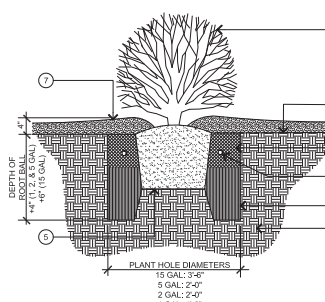
2 GROUND COVER PLANTING

N.T.S.

- 1 EDGE OF PAVING, HEADER, FACE OF BUILDING, WALL, ETC.
- 2 GROUND COVER: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 3 CENTERLINE OF PLANTS SHALL BE 1/2 OF EQUAL SPACING MINIMUM FROM EDGE OF PLANTING AREA

NOTES:

- ALL PLANTS SHALL BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE SPECIFIED ON THE PLAN
- INFILL PLANTS AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES
- KEEP MULCH CLEAR OF PLANT BASE
- ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT



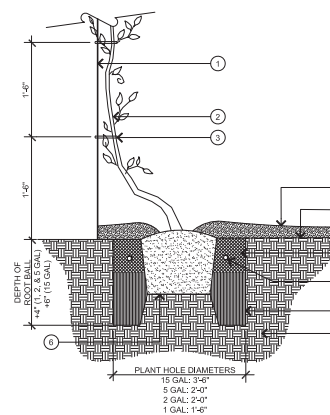
3 SHRUB PLANTING

N.T.S.

- 1 SHRUB: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 2 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 3 FINISH GRADE
- 4 BACK FILL MIX: (1/2 DEPTH OF ROOT BALL HEIGHT); 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
- 5 SHRUB ROOTBALL SET ON LIGHTLY TAMPED SOIL. SET CROWN OF ROOTBALL 1" ABOVE FINISH GRADE.
- 6 FERTILIZER TABS (21 GRAM, 20-10-5):
- 1 GALLON: 1 TAB
- 2 GALLON: 2 TABS
- 5 GAL: 3 TABS
- 15 GAL: 5 TABS
- 7 BARK MULCH: 3" DEPTH, KEEP CLEAR FROM ROOT BALL CROWN
- 8 PULVERIZED NATIVE SOIL

NOTES:

- 1 ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT



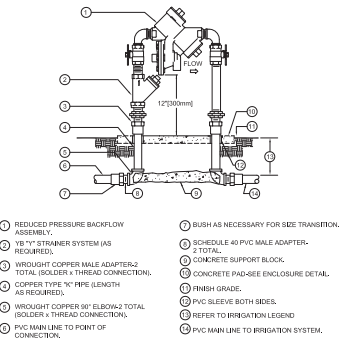
4 VINE PLANTING/STAKING

N.T.S.

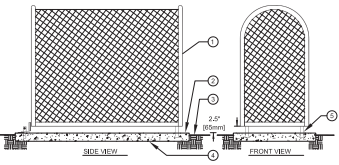
- 1 WALL/FENCE
- 2 VINE: REFER TO PLANTING PLAN FOR LOCATION AND PLANTING LEGEND FOR SPECIES
- 3 VINE TIES AT 1'-6" INTERVALS AS SHOWN: REFER TO SPECIFICATIONS
- 4 FINISH GRADE
- 5 BACK FILL MIX: (1/2 DEPTH OF ROOT BALL HT.): 70% PULVERIZED NATIVE SOIL, 30% NITROGEN FORTIFIED FIR OR REDWOOD SAWDUST.
- 6 VINE ROOTBALL SET ON LIGHTLY TAMPED SOIL. SET CROWN OF ROOTBALL 1" ABOVE FINISH GRADE.
- 7 FERTILIZER TABS (21 GRAM, 20-10-5):
- 1 GALLON: 1 TAB
- 2 GALLON: 2 TABS
- 5 GAL: 3 TABS
- 15 GAL: 5 TABS
- 8 BARK MULCH: 3" DEPTH, KEEP CLEAR FROM ROOT BALL CROWN
- 9 PULVERIZED NATIVE SOIL
- 10 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT

NOTES:

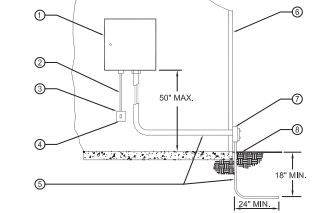
- 1 ALL PLANTING AREAS TO BE TREATED WITH PRE-EMERGENT



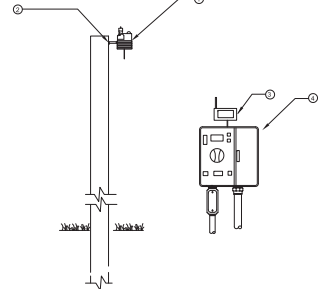
- NOTES:
1. INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN.
 2. DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. THIS MAY CAUSE DAMAGE TO DEVICE.
 3. NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.
 4. PROVIDE A STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.
- 1 REDUCED PRESSURE BACKFLOW ASSEMBLY.
2 1/2" x 1/2" STRAINER SYSTEM (AS REQUIRED).
3 WROUGHT COPPER MALE ADAPTERS (2 TOTAL).
4 BUSH AS NECESSARY FOR SIZE TRANSITION.
5 1/2" x 1/2" STRAINER SYSTEM (AS REQUIRED).
6 COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
7 WROUGHT COPPER 90° ELBOWS (2 TOTAL).
8 COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
9 1/2" x 1/2" STRAINER SYSTEM (AS REQUIRED).
10 1/2" x 1/2" STRAINER SYSTEM (AS REQUIRED).
11 1/2" x 1/2" STRAINER SYSTEM (AS REQUIRED).
12 1/2" x 1/2" STRAINER SYSTEM (AS REQUIRED).



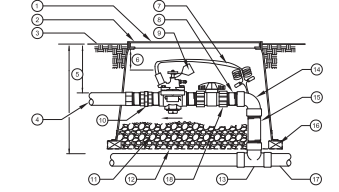
- 1 STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE.
2 SET PAD 1/2\"/>



- 1 IRRIGATION CONTROLLER.
2 120 VOLT SERVICE IN RIGID STEEL CONDUIT.
3 120 VOLT LOCKABLE ON/OFF SWITCH PROVIDED UNDER IRRIGATION CONTRACT.
4 120 VOLT SERVICE TO CONTROLLER LOCATION PROVIDED BY ELECTRICAL CONTRACTOR.
5 SCHEDULE 40 GREY PVC ELECTRICAL CONDUIT FOR LOW VOLTAGE WIRE.
6 EXTERIOR WALL.
7 ELECTRICAL PULL BOX PER ELECTRICAL CODE.
8 FINISH GRADE.



- 1 WIRELESS CLIMATE SENSOR TRANSMITTER.
2 SUITABLE POST, POLE, OR GUTTER MOUNT.
3 MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN, IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN.
4 SENSOR RECEIVER.
5 CONTROLLER.



- 1 REMOTE CONTROL VALVE (WITH FLOW CONTROL AND MANUAL BLEED (PRESSURE REGULATOR WHERE SHOWN ON PLANS)).
2 USE A 1/4\"/>

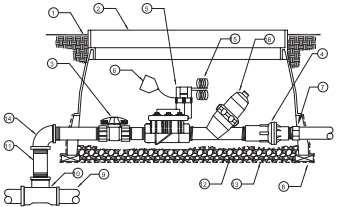
1 REDUCED PRESSURE BACKFLOW ASSEMBLY

2 BACKFLOW ASSEMBLY ENCLOSURE

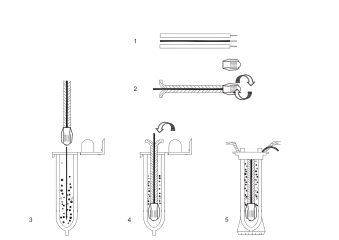
3 INTERIOR MOUNTED CONTROLLER

4 WIRELESS WEATHER SENSOR

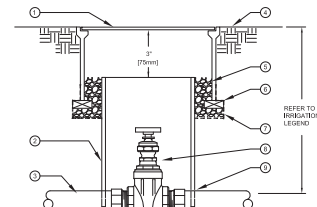
5 REMOTE CONTROL VALVE



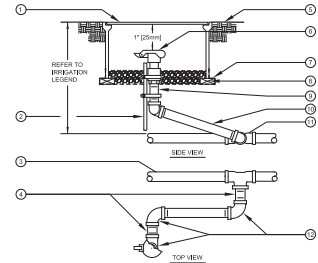
- 1 FINISH GRADE.
2 JUMBO RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX. NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
3 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE).
4 PRESSURE REGULATOR (INCLUDED IN DRIP ZONE KIT).
5 REMOTE CONTROL VALVE (DRIP ZONE KIT). (SHALL INCLUDE VALVE, FILTER AND A 40 PSI PRESSURE REDUCING VALVE).
6 VALVE LID TAG (CONTROLLER AND STATION NUMBERS).
7 SCHEDULE 40 MALE ADAPTER.
8 BRICK-1 EACH CORNER.
9 PVC MAIN LINE.
10 UPC APPROVED SCHEDULE 40 PVC TEE.
11 SCHEDULE 80 PVC NIPPLE (TOTAL LENGTH AS REQUIRED).
12 PEA GRAVEL OR 3/4\"/>



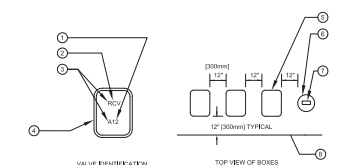
- INSTRUCTIONS:
1. STRIP WIRES APPROXIMATELY 1/2\"/>
 2. TWIST CONNECTOR AROUND WIRES (CLOCKWISE UNTIL HAND TIGHT. DO NOT OVERTIGHTEN).
 3. INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS FAST UP IN BOTTOM OF TUBE.
 4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
 5. INSPECT FINAL SPICE ASSEMBLY TO BE SECURE AND FINISHED.



- 1 1/2\"/>



- 1 1/2\"/>



- 1 CONTROLLER AND STATION.
2 VALVE TYPE.
3 HEAT BRAND LETTERS AND NUMBERS (NOT LEL).
4 VALVE BOX COVER.
5 RECTANGULAR VALVE BOX.
6 ROUND VALVE BOX FOR GCV AND GATE VALVE.
7 HEAT BRAND LETTERS AND NUMBERS (NOT LEL).
8 EDGE OF LAWN, WALK, FENCE, CURB, ETC.

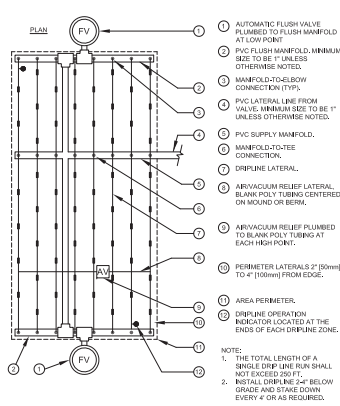
6 REMOTE CONTROL VALVE (DRIP ZONE)

7 WEATHERPROOF WIRE SPLICE ASSEMBLY

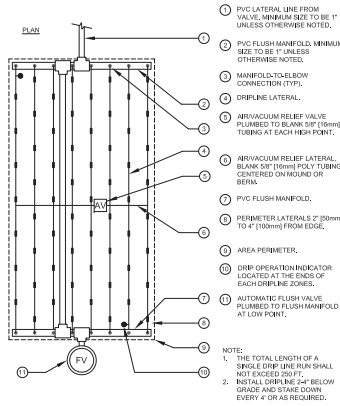
8 GATE VALVE

9 QUICK COUPLING VALVE

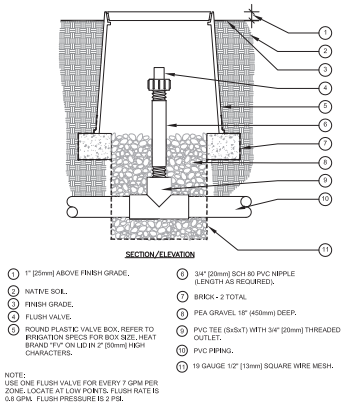
10 VALVE BOX INSTALLATION



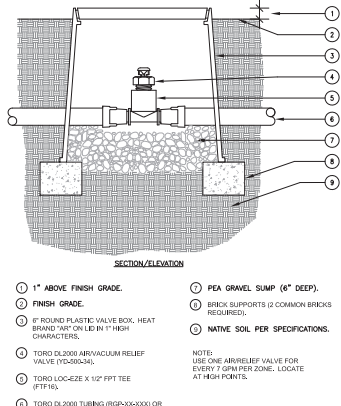
1 TORO DL 2000 CENTER FEED LAYOUT SCALE: NONE



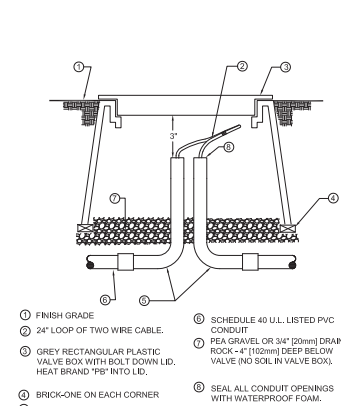
2 TORO DL 2000 END FEED LAYOUT SCALE: NONE



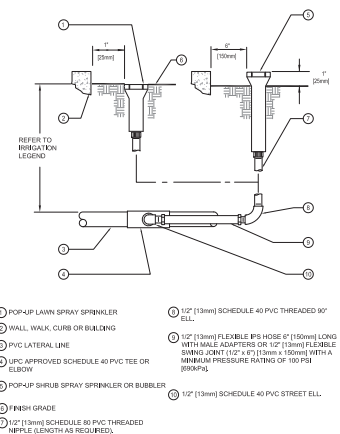
3 TORO DL 2000 FLUSH VALVE (PVC TEE) SCALE: NONE



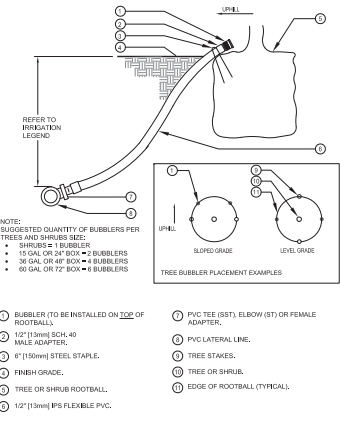
4 TORO DL 2000 AIR VACUUM RELIEF VALVE SCALE: NONE



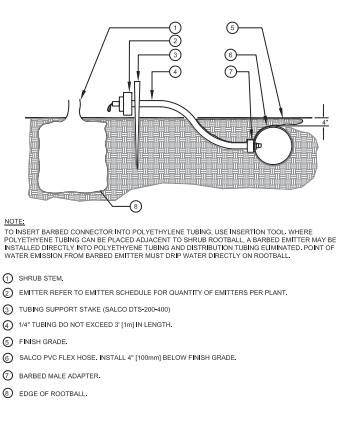
5 IRRIGATION TWO WIRE PULL BOX SCALE: NONE



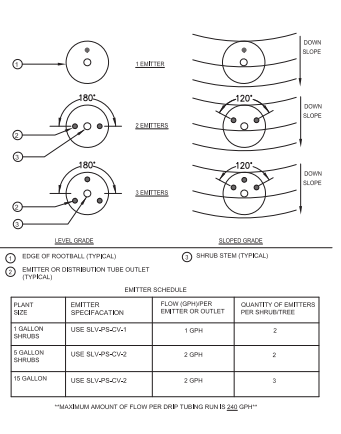
6 POP-UP SPRAY SPRINKLER RISER SCALE: NONE



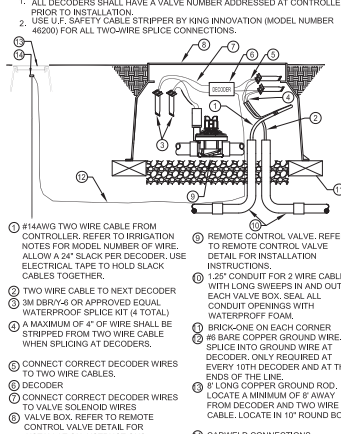
7 TREE AND SHRUB BUBBLER SCALE: NONE



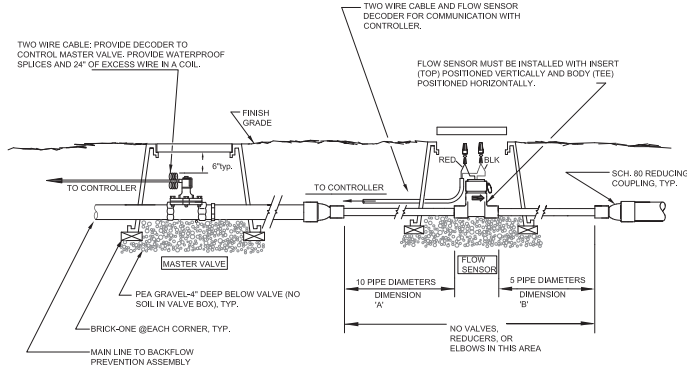
8 SALCO FLEX TUBING EMITTER PLACEMENT SCALE: NONE



9 SALCO EMITTER PLACEMENT AND SCALE: NONE

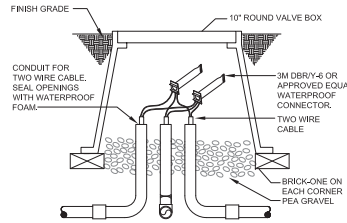


10 DECODER WIRING IN CONDUIT SCALE: NONE



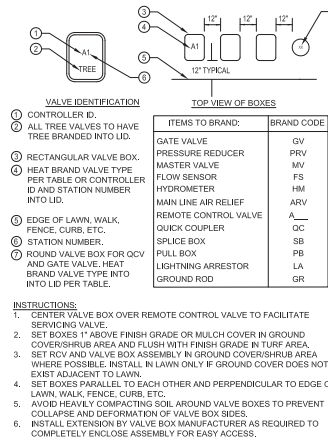
**1 INSTALLATION DETAIL
MASTER VALVE/FLOW SENSOR**

SCALE: NONE



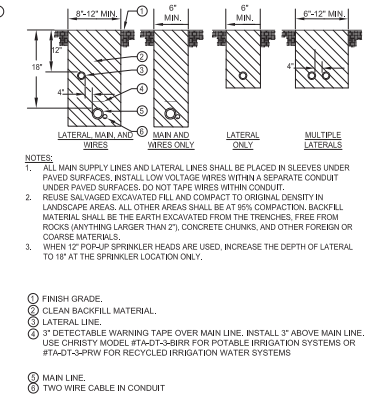
**2 2-WIRE SPLICE BOX AT
MAIN LINE TEE OR
3 WAY WIRE BRANCH**

SCALE: NONE



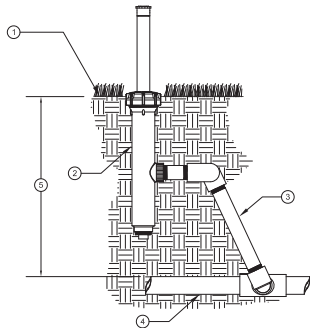
**3 VALVE BOX
INSTALLATION**

SCALE: NONE



4 TRENCHING

SCALE: NONE



- 1 FINISH GRADE.
- 2 570 POP-UP DRIP OPERATION INDICATOR ASSEMBLY (TORO MODEL 570DRIP-RND) INSTALLED AT FURTHEST POINT DOWNSTREAM OF ZONE VALVE.
- 3 PVC OR SWING PIPE SWING JOINT ASSEMBLY.
- 4 PVC DRIP ZONE FOOTER.
- 5 DEPTH OF PVC LINE PER SPECIFICATIONS.

NOTE: TEFLON TAPE ALL THREADED JOINTS

**5 570 POP-UP DRIP
OPERATION INDICATOR**

SCALE: NONE

WATER USE ESTIMATION - 877 W Fremont Ave, Sunnyvale CA

WATER TYPE	POTABLE
SITE ETO=	45.5

12/2/2021

REGULAR LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT) (HA)	ETAF X AREA (HA)	ETWU (GAL/YR)	ACRE FEET/ YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	LOW WATER PLANTING	LOW	0.3	DRIP	0.81	0.370	41,310	15,300	431,613	1.32	577.02	75%
2	MODERATE WATER PLANTING	MOD	0.5	DRIP	0.81	0.617	13,770	8,500	239,785	0.74	320.57	25%
TOTALS							55,080	23,800	671,398	2.06	897.59	100%

SPECIAL LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME											
						1						0%
TOTALS							0					0%

MAWA	GALLONS/YR	699,213
	ACRE FEET/YR	2.15
	HCF/YR	934.78

ETWU	GALLONS/YR	671,398
	ACRE FEET/YR	2.06
	HCF/YR	897.59

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
81.0%	0.35	YES

ETAF Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	23,800
TOTAL AREA	55,080
AVG. ETAF	43.21%

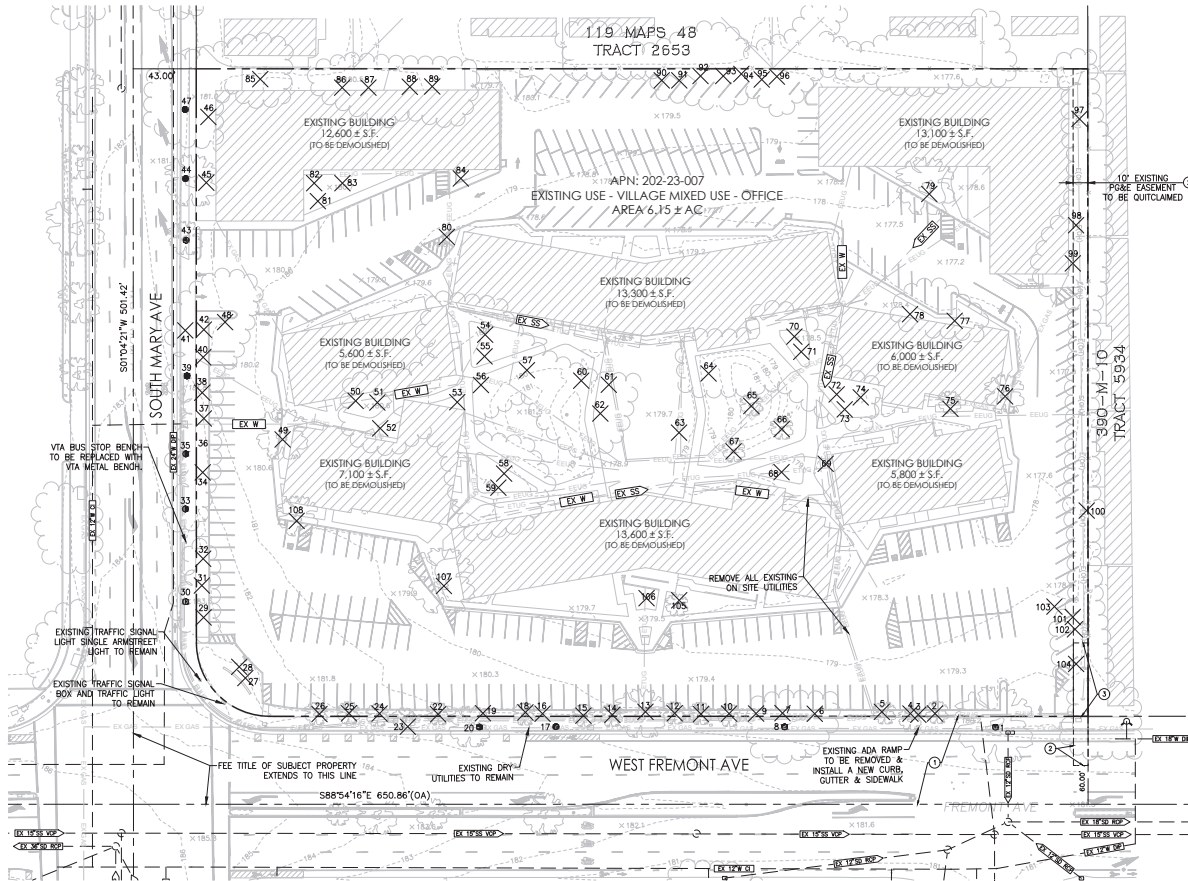
MAWA FORMULA
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR
MAWA = (ETo)((0.62)[(LA x 0.45) + (0.55 x SLA)])

ETo = REFERENCE EVAPOTRANSPIRATION
0.55= ET ADJUSTMENT FACTOR
LA=LANDSCAPED AREA (SQUARE FEET)
0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

ETWU FORMULA
ESTIMATED TOTAL WATER USE (ETWU) GALLONS PER YEAR
ETWU= ((ETo)((0.62)[(ETAF x LA)])

ETo = REFERENCE EVAPOTRANSPIRATION
PF = PLANT FACTOR FOR HYDROZONES
HA = HYDROZONE AREA (SQ.FT)
0.62 = CONVERSION FACTOR (GALLONS/SQ.FT/YR)

IE = IRRIGATION EFFICIENCY (0.81)-BUBBLER/DRIP
IE = IRRIGATION EFFICIENCY (0.75)-ROTORS/SPRAY



SHEET INDEX

- C1 EXISTING CONDITION AND DEMOLITION
- C2 TREE REMOVAL WITH PROPOSED SITE PLAN OVERLAY
- C3 VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES
- C4 TYPICAL CROSS SECTIONS
- C5 SITE PLAN
- C6 LOT COVERAGE
- C7 OPEN SPACE AND LANDSCAPE
- C8 PRELIMINARY PARKING PLAN
- C9 PRELIMINARY SOLID WASTE ACCESS AND FACILITIES PLAN
- C10 PRELIMINARY SOLID WASTE ACCESS AND FACILITIES DETAILS
- C11 PRELIMINARY FIRE ACCESS PLAN
- C12 LADDER PAD EXHIBIT (BY WOODLEY)
- C13 PRELIMINARY GRADING PLAN
- C14 PRELIMINARY GRADING SECTIONS
- C15 PRELIMINARY UTILITY PLAN
- C16 PRELIMINARY STORMWATER QUALITY CONTROL PLAN

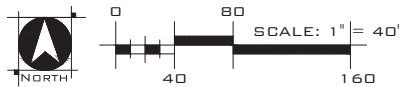
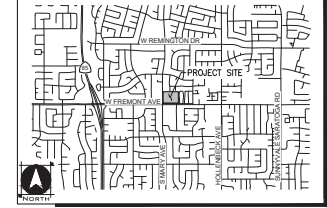
BENCHMARK

BRASS DISC ON TOP OF CURB NEXT TO CATCH BASIN AT THE SOUTHWEST CURB RETURN, INTERSECTION OF W. FREMONT AVENUE AND S. MARY AVENUE
MON ID: CITY OF SUNNYVALE #87
VERTICAL DATUM: NAVD88
ELEVATION: 185.796'

EXISTING EASEMENT NOTES

- ① AN EASEMENT FOR PUBLIC STREET AND SIDEWALK AND INCIDENTAL PURPOSES, RECORDED JUNE 6, 1960 AS BOOK 4855, PAGE 716 OF OFFICIAL RECORDS, IN FAVOR OF: CITY OF SUNNYVALE, A MUNICIPAL CORPORATION
- ② AN EASEMENT FOR POLES, CONDUITS AND INCIDENTAL PURPOSES, RECORDED JULY 6, 1965 AS BOOK 7018, PAGE 715 OF OFFICIAL RECORDS, IN FAVOR OF: PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION
- ③ AN EASEMENT FOR PUBLIC UTILITY AND INCIDENTAL PURPOSES, RECORDED JUNE 1, 1987 AS BOOK K171, PAGE 1535 AS INSTRUMENT NO. 9286325 OF OFFICIAL RECORDS, IN FAVOR OF: PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION

KEY MAP



LEGEND

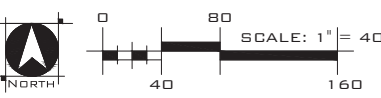
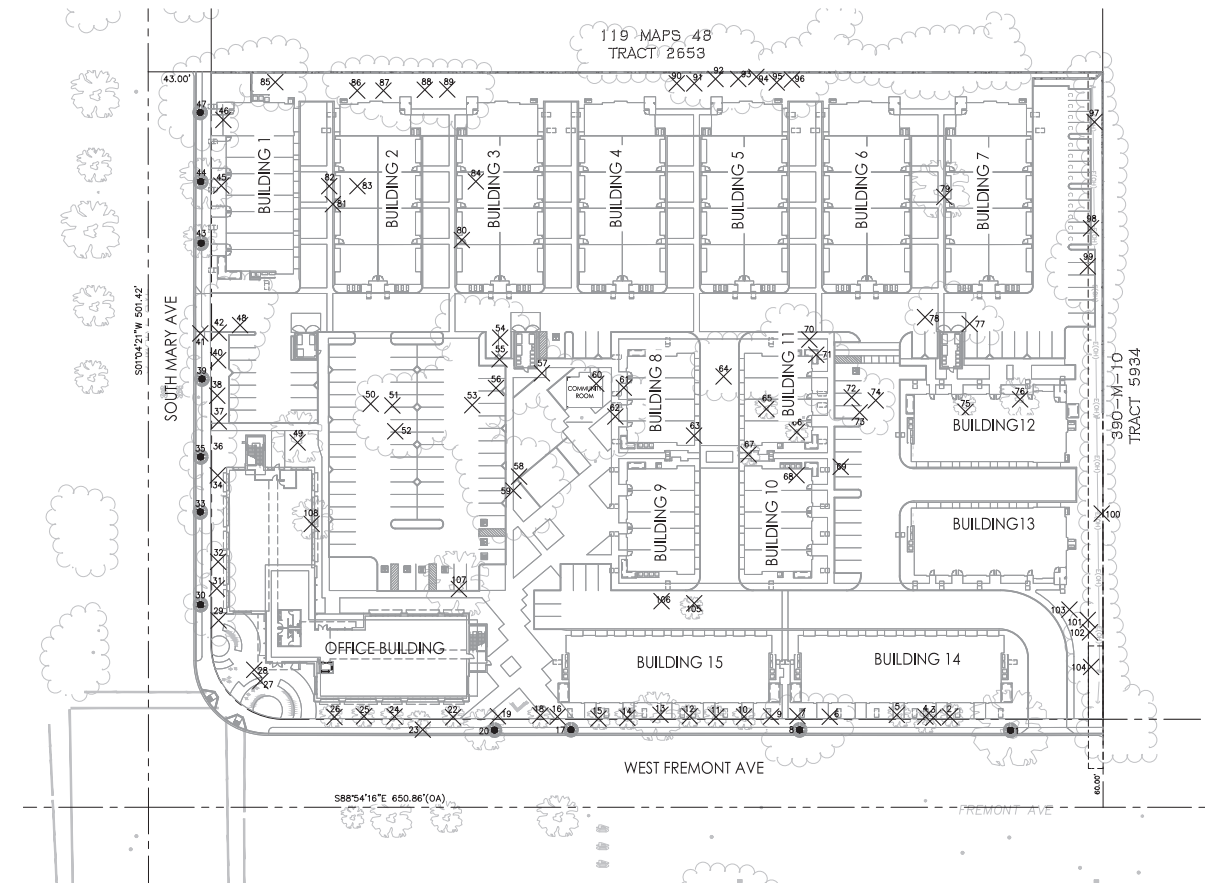
CONTOUR-MAJOR	TREELINE (GROUND OBSCURED)	LIGHT POLE	METER
CONTOUR-MINOR	OVERHEAD POWER LINE	BOLLARD/FENCE POST	VAULT/BOX
EDGE OF PAVEMENT	UTILITY POLE	SIGN	DROP INLET
TOP CURB	BRUSH	FIRE HYDRANT	BUILDING
GUTTER	DECIDUOUS TREE	WATER SPIGOT	DECK
EDGE OF CONCRETE	CONIFEROUS TREE	MANHOLE	COVERED AREA
FENCE	MONITORING STATION	VALVE COVER	SHED/TRAILER/OUTBUILDING
OVERHEAD POWER LINE	UTILITY POLE	WELL	TANKS/SILOES
BRUSHLINE (GROUND OBSCURED)	GUY ANCHOR	MISC. UTILITY/OBJECT	EXISTING TREE TO BE REMOVED

C1 EXISTING CONDITION AND DEMOLITION

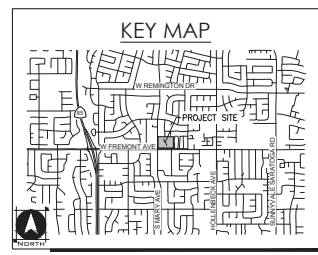
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SUNNYVALE, CALIFORNIA
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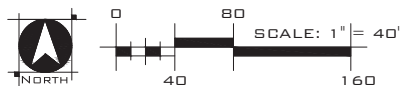


LEGEND			
CONTOUR-MAJOR	TREELINE (GROUND OBSCURED)	LIGHT POLE	METER
CONTOUR-MINOR	OVERHEAD POWER LINE	BOLLARD/FENCE POST	VAULT/BOX
EDGE OF PAVEMENT	UTILITY POLE	SIGN	DROP INLET
TOP CURB	BRUSH	FIRE HYDRANT	BUILDING
GUTTER	DECIDUOUS TREE	WATER SPIGOT	DECK
EDGE OF CONCRETE	CONIFEROUS TREE	MANHOLE	COVERED AREA
FENCE	MONITORING STATION	VALVE COVER	SHED/TRAILER/OUTBUILDING
OVERHEAD POWER LINE	UTILITY POLE	WELL	TANKS/SILOS
BRUSHLINE (GROUND OBSCURED)	GUY ANCHOR	MISC. UTILITY/OBJECT	EXISTING TREE TO BE REMOVED

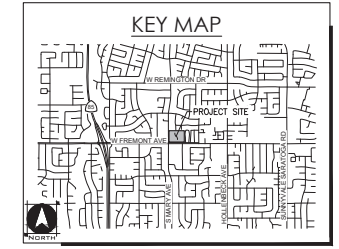
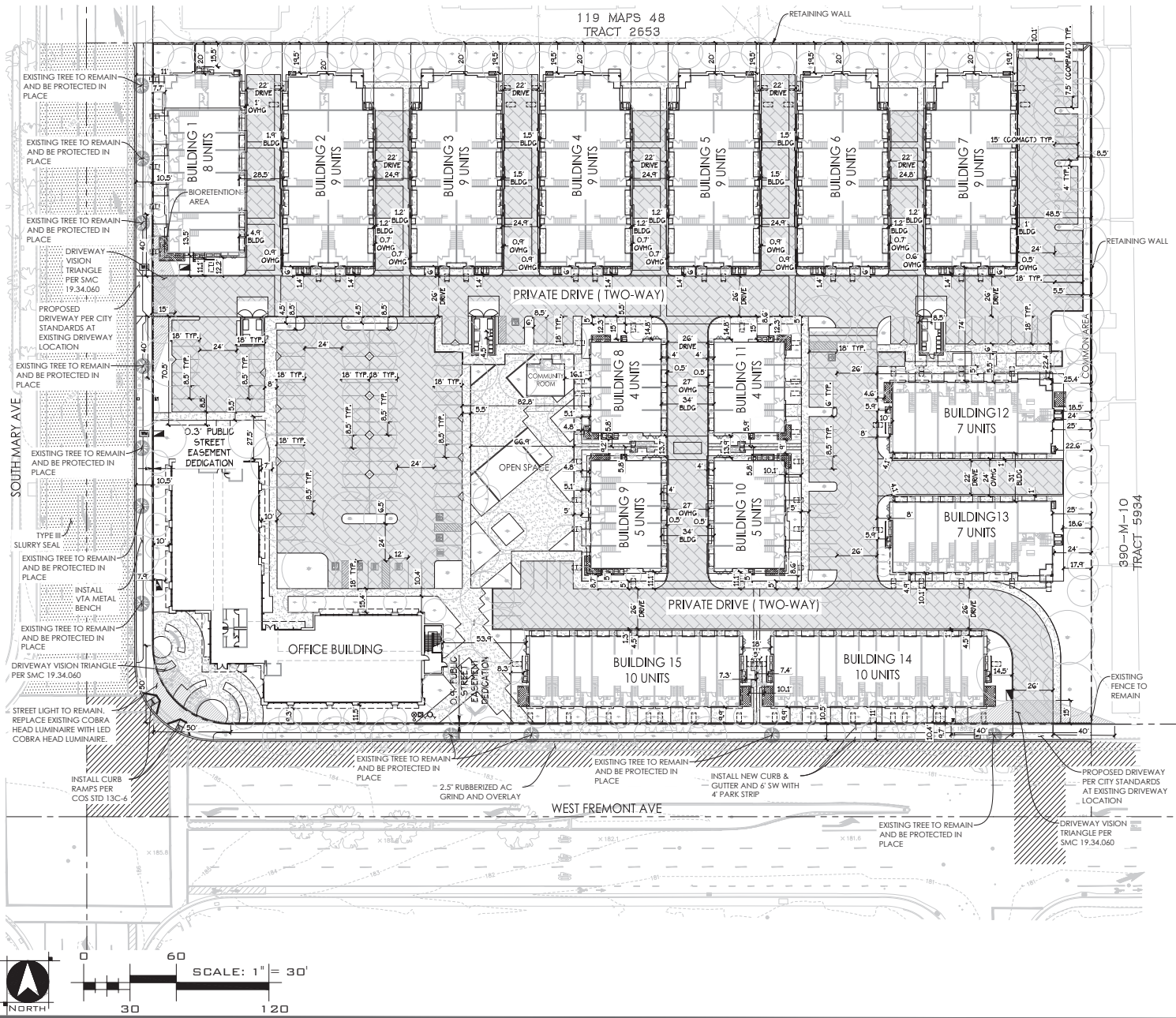


TREE REMOVAL				
TREE TAG NO.	SPECIES	TRUNK DIAMETER (IN)	PROTECTED?	PROPOSED ACTION
1	HOLLY OAK	27	YES	PRESERVE
2	JUNIPER SP.	9,4,3,2	NO	REMOVE
3	JUNIPER SP.	9	NO	REMOVE
4	JUNIPER SP.	12	YES	REMOVE
5	JUNIPER SP.	12	YES	REMOVE
6	JUNIPER SP.	10,8	NO	REMOVE
7	JUNIPER SP.	6	NO	REMOVE
8	HOLLY OAK	23	YES	PRESERVE
9	JUNIPER SP.	8	NO	REMOVE
10	JUNIPER SP.	8,6	NO	REMOVE
11	JUNIPER SP.	11	NO	REMOVE
12	JUNIPER SP.	9	NO	REMOVE
13	CANARY ISLAND PINE	28	YES	REMOVE
14	JUNIPER SP.	11	NO	REMOVE
15	JUNIPER SP.	10	NO	REMOVE
16	JUNIPER SP.	10	NO	REMOVE
17	HOLLY OAK	14	YES	PRESERVE
18	JUNIPER SP.	22	YES	REMOVE
19	JUNIPER SP.	7	NO	REMOVE
20	HOLLY OAK	18	YES	PRESERVE
21	JUNIPER SP.	6	NO	REMOVE
22	JUNIPER SP.	10	NO	REMOVE
23	HOLLY OAK	17	YES	REMOVE
24	JUNIPER SP.	13	YES	REMOVE
25	JUNIPER SP.	11	NO	REMOVE
26	JUNIPER SP.	12	YES	REMOVE
27	JACARANDA	5	NO	REMOVE
28	JACARANDA	5	NO	REMOVE
29	JUNIPER SP.	13	YES	REMOVE
30	SOUTHERN MAGNOLIA	9	NO	PRESERVE
31	JUNIPER SP.	11	NO	REMOVE
32	JUNIPER SP.	13	YES	REMOVE
33	SOUTHERN MAGNOLIA	9	NO	PRESERVE
34	JUNIPER SP.	13	YES	REMOVE
35	SOUTHERN MAGNOLIA	9	NO	PRESERVE
36	JUNIPER SP.	13	YES	REMOVE
37	JUNIPER SP.	10,7,5	NO	REMOVE
38	JUNIPER SP.	8	NO	REMOVE
39	SOUTHERN MAGNOLIA	8	NO	PRESERVE
40	JUNIPER SP.	13	YES	REMOVE
41	SOUTHERN MAGNOLIA	10	NO	PRESERVE
42	JUNIPER SP.	12	YES	REMOVE
43	SOUTHERN MAGNOLIA	10	NO	PRESERVE
44	SOUTHERN MAGNOLIA	10	NO	PRESERVE
45	OLIVE	13,10	YES	REMOVE
46	OLIVE	13	YES	REMOVE
47	SOUTHERN MAGNOLIA	23	YES	PRESERVE
48	SWEETGUM	25	YES	REMOVE
49	GINKGO	24	YES	REMOVE
50	GINKGO	12	YES	REMOVE
51	GINKGO	11,8,8	NO	REMOVE
52	GINKGO	15	YES	REMOVE
53	SILVER MAPLE	27	YES	REMOVE

54	CHINESE ELM	20	YES	REMOVE
55	CHINESE ELM	19	YES	REMOVE
56	GINKGO	24	YES	REMOVE
57	GINKGO	25	YES	PRESERVE
58	CHINESE ELM	16	YES	REMOVE
59	CHINESE ELM	19	YES	REMOVE
60	GINKGO	28	YES	REMOVE
61	SWEETGUM	22	YES	REMOVE
62	GINKGO	25	YES	REMOVE
63	GINKGO	6	NO	REMOVE
64	CANARY ISLAND	44	YES	REMOVE
65	NORWAY MAPLE	8	NO	REMOVE
66	NORWAY MAPLE	10	NO	REMOVE
67	NORWAY MAPLE	9	NO	REMOVE
68	PURPLE-LEAF PLUM	8	NO	REMOVE
69	PURPLE-LEAF PLUM	8	NO	REMOVE
70	CHINESE ELM	16	YES	REMOVE
71	CHINESE ELM	14	YES	REMOVE
72	CHINESE PISTACHE	6	NO	REMOVE
73	CHINESE PISTACHE	6	NO	REMOVE
74	CHINESE PISTACHE	8	NO	REMOVE
75	JAPANESE MAPLE	7,7,3	NO	REMOVE
76	GINKGO	14	YES	REMOVE
77	JAPANESE MAPLE	11,9,8	NO	REMOVE
78	JAPANESE MAPLE	14,9	YES	REMOVE
79	CHINESE ELM	12	YES	REMOVE
80	CHINESE PISTACHE	6	NO	REMOVE
81	CRAPPE MYRTLE	4	NO	REMOVE
82	CRAPPE MYRTLE	4	NO	REMOVE
83	CRAPPE MYRTLE	4	NO	REMOVE
84	CRAPPE MYRTLE	4	NO	REMOVE
85	HOLLY OAK	21	YES	REMOVE
86	CHINESE ELM	13	YES	REMOVE
87	MONTEREY PINE	37	YES	REMOVE
88	CHINESE ELM	13	YES	REMOVE
89	MONTEREY PINE	35	YES	REMOVE
90	CHINESE ELM	13	YES	REMOVE
91	ITALIAN BUCKTHORN	5	NO	REMOVE
92	ITALIAN BUCKTHORN	4	NO	REMOVE
93	MONTEREY PINE	41	YES	REMOVE
94	ITALIAN BUCKTHORN	5,5	NO	REMOVE
95	ITALIAN BUCKTHORN	5,3	NO	REMOVE
96	MONTEREY PINE	34	YES	REMOVE
97	HOLLY OAK	4,4,3,3,3,2,2	NO	REMOVE
98	HOLLY OAK	14	YES	REMOVE
99	CANARY ISLAND PINE	44	YES	REMOVE
100	HOLLY OAK	10,8	NO	REMOVE
101	HOLLY OAK	10	NO	REMOVE
102	HOLLY OAK	8	NO	REMOVE
103	HOLLY OAK	6	NO	REMOVE
104	HOLLY OAK	7	NO	REMOVE
105	CHINESE PISTACHE	7	NO	REMOVE
106	CRAPPE MYRTLE	4	NO	REMOVE
107	CAMPFOR	20	YES	REMOVE
108	CANARY ISLAND PINE	32	YES	REMOVE

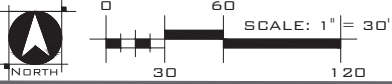


<u>LOT NO.</u>	<u>LAND USE</u>	<u>DWELLING</u>	<u>NET AREA</u>
		<u>UNITS</u>	
LOTS 1-15	RESIDENTIAL	114	115,536 S.F.
LOT 16	COMMERCIAL	-	54,871 S.F.
LOTS 17-27	PRIVATE ALLEY/Common Area	-	96,677 S.F.
TOTAL NET AREA		114	267,084 S.F.
	PUBLIC STREET EASEMENT DEDICATION AT W. FREMONT		- 563 S.F.
	PUBLIC STREET EASEMENT DEDICATION AT S. MARY		- 129 S.F.
TOTAL GROSS AREA		114	267,776 S.F.



LEGEND	
	PROJECT BOUNDARY
	TRASH ENCLOSURE
	LADDER SET AREA
	AIR CONDITIONER PAD
	CURB FACE
	BUILDING OVERHANG (OVHG)
	BUILDING (BLDG) FACE

- NOTES:**
- CONTACT VIA AT BUS.STOP@VTA.ORG OR CALL 408-321-5800 A MINIMUM OF 3 DAYS PRIOR TO ANY WORK THAT WOULD BLOCK BUS OPERATIONS.
 - THE PERPETUAL MAINTENANCE OF SIDEWALK IMPROVEMENTS ALONG THE PROJECT FRONTS ON SOUTH MARY AVENUE AND WEST FREMONT AVENUE SHALL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - HAND DIG EXCAVATION NEAR EXISTING STREET TREES.

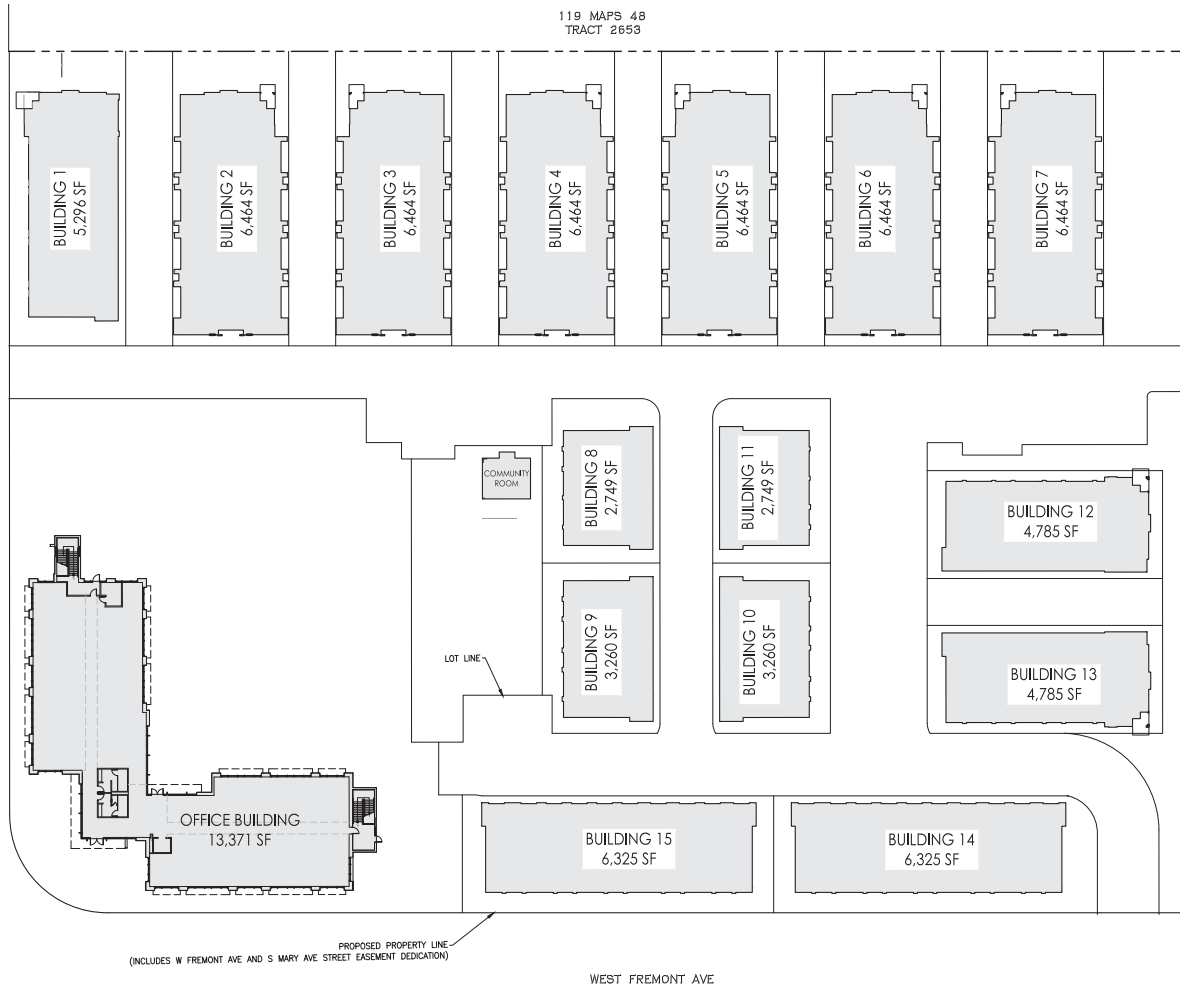


C5 SITE PLAN

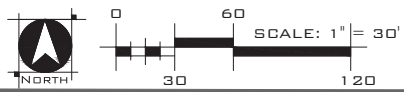
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 PLEASANTON, CA 94588 FAX 925.847.1557

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LOT COVERAGE SUMMARY			
BUILDING TYPE	BUILDING AREA (SF)	QUANTITY	TOTAL AREA (SF)
BUILDING 1	5,296	1	5,296
BUILDINGS 2-7	6,464	6	38,784
BUILDINGS 8 AND 11	2,749	2	5,498
BUILDINGS 9 AND 10	3,260	2	6,520
BUILDINGS 12 AND 13	4,785	2	9,570
BUILDINGS 14 AND 15	6,325	2	12,650
COMMUNITY ROOM	527	1	527
COMMERCIAL BUILDING	13,371	1	13,371
TOTAL			92,216
SITE AREA			267,776
LOT COVERAGE			34.4%

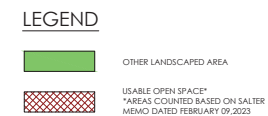


C6 LOT COVERAGE

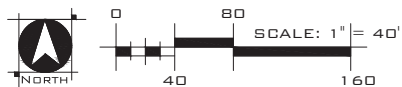
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SUNNYVALE, CALIFORNIA
06.06.2023

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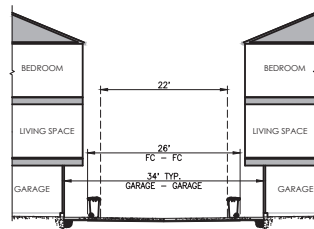
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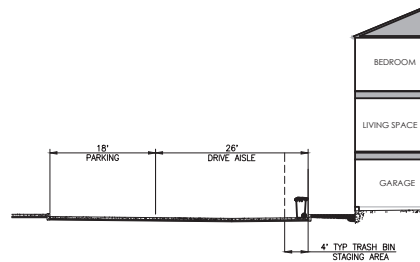
OTHER LANDSCAPED AREA SUMMARY	
OTHER LANDSCAPED AREA REQUIRED (425 SF PER UNIT)	48,450 SF
OTHER LANDSCAPED AREA PROVIDED	74,638 SF



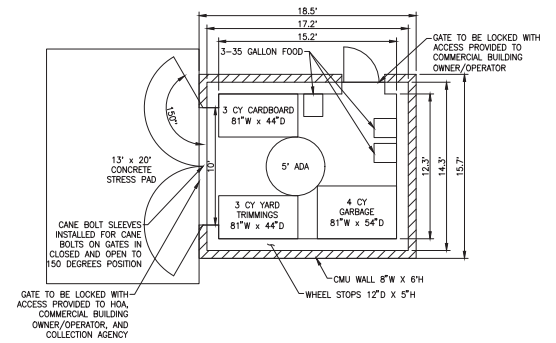
STANDARD	4 SPACES
VAN ACCESSIBLE	2 SPACES
TOTAL PROVIDED ADA SPACES	6 SPACES



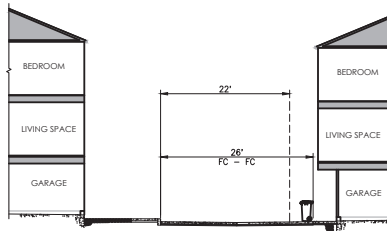
SECTION 1
NTS



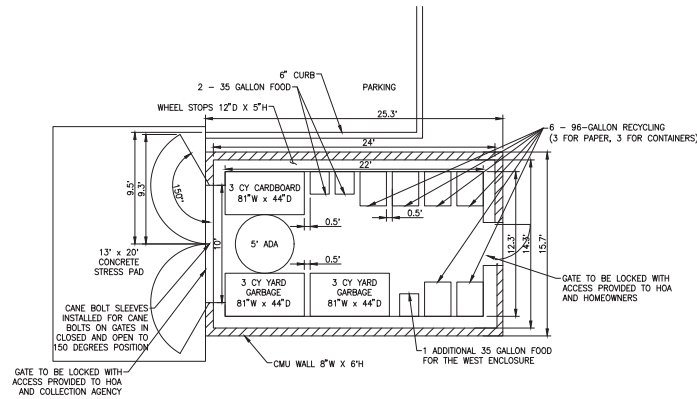
SECTION 2
NTS



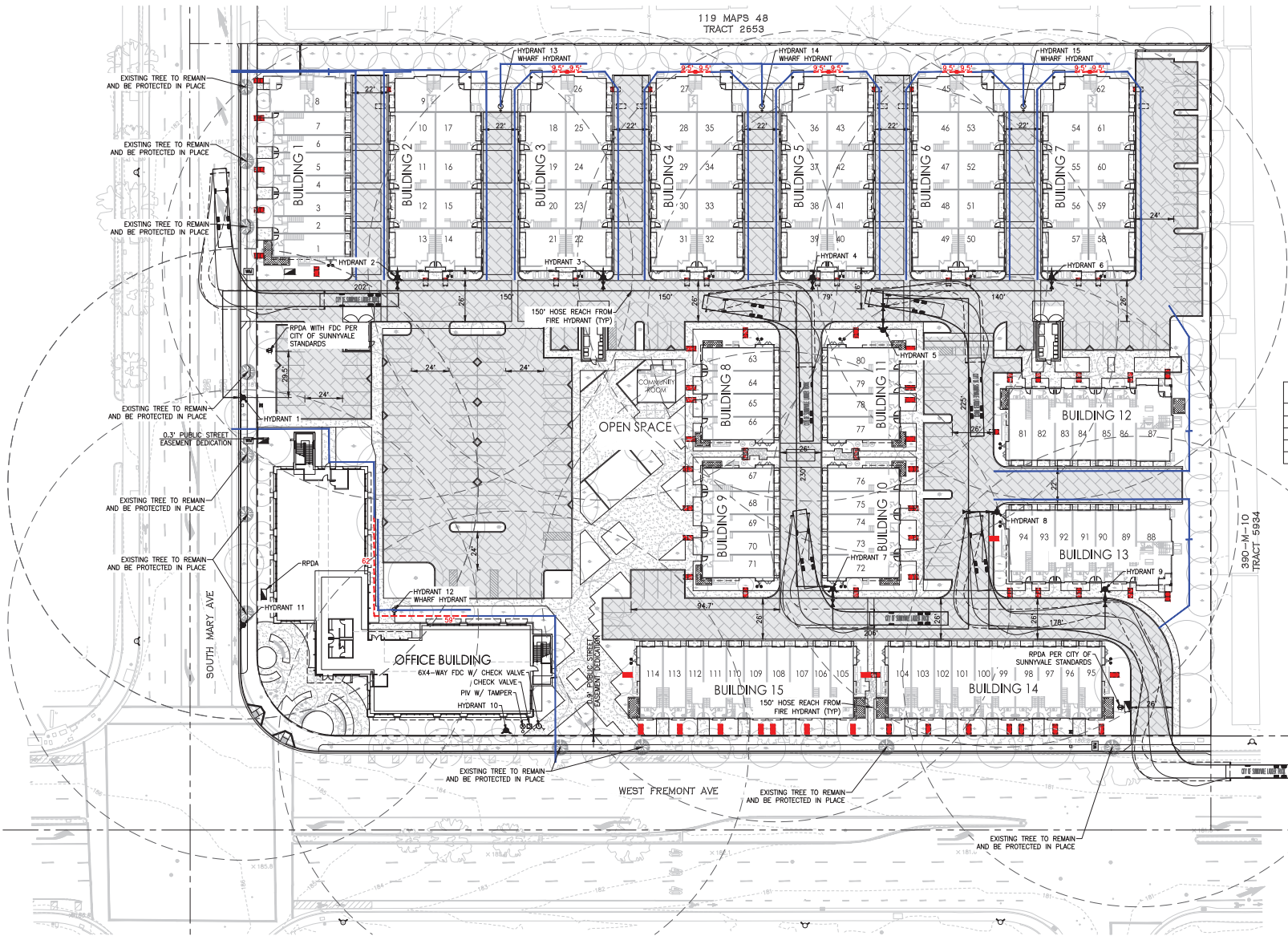
OFFICE BUILDING AND PARK TRASH ENCLOSURE
SCALE: 1"=5'



SECTION 3
NTS



RESIDENTIAL TRASH ENCLOSURE
SCALE: 1"=5'

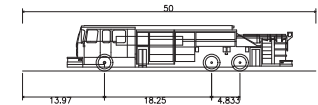


LEGEND

- FIRE HYDRANT
- LADDER SET AREA (PAD) 6'x3' WITH APPROXIMATE LADDER PLACEMENT
- FIRE RISER TO BE LOCATED IN FIRE CLOSET
- REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA)
- 150' PATH FROM FIRE APPARATUS ACCESS ROAD
- PATH EXCEEDING 150' FROM FIRE APPARATUS ACCESS ROAD
- DETAILS SHOWING ADVANCED SPRINKLER SYSTEM DESIGN FOR EXCEPTION OF 150' HOSE PULL LENGTH FOR BUILDINGS 2-7 (14'x) WILL BE INCLUDED IN CONSTRUCTION DRAWINGS TO BE SUBMITTED FOR BUILDING PERMIT
- WING MIRROR OUTLINE
- WHARF HYDRANT

NOTES:

- ALL PROPOSED FIRE HYDRANTS TO BE CLOW MODEL 845 PER CITY OF SUNNYVALE FIRE HYDRANT REQUIREMENTS.
- ALL ON-SITE FIRE ACCESS ROADS DEPICTED TO BE AN APPROVED ALL-WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE LOADS IMPOSED BY FIRE APPARATUS WEIGHING 90,000 POUNDS



CITY OF SUNNYVALE LADDER TRUCK
OVERALL LENGTH
OVERALL WIDTH
TRACK WIDTH
LOCK-TO-LOCK TIME
CURB TO CURB TURNING RADIUS

50.00 FT
8.50 FT
8.167 FT
5.00 S
27.00 FT

OFFICE BUILDING CONSTRUCTION TYPE-IB	
BUILDING 1	AREA (SF)
FLOOR 1	13,371
FLOOR 2	13,369
FLOOR 3	8,653
TOTAL	35,393

RESIDENTIAL BUILDINGS CONSTRUCTION TYPE-VB R-2 OCCUPANCY	
BUILDING 1	AREA (SF)
FLOOR 1	5,290
FLOOR 2	4,951
FLOOR 3	4,485
TOTAL	14,726

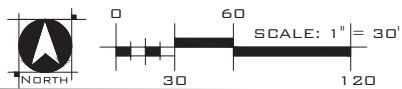
BUILDINGS 2-7	
FLOOR 1	6,236
FLOOR 2	6,359
FLOOR 3	5,914
TOTAL PER BUILDING	18,509
BUILDINGS 2-7 TOTAL	111,054

BUILDINGS 8&11	
FLOOR 1	2,749
FLOOR 2	2,504
FLOOR 3	2,979
TOTAL PER BUILDING	8,232
BUILDINGS 8&11 TOTAL	16,464

BUILDINGS 9&10	
FLOOR 1	3,260
FLOOR 2	3,003
FLOOR 3	3,522
TOTAL PER BUILDING	9,785
BUILDINGS 9&10 TOTAL	19,570

BUILDINGS 12&13	
FLOOR 1	4,785
FLOOR 2	4,491
FLOOR 3	3,939
TOTAL PER BUILDING	13,215
BUILDINGS 12&13 TOTAL	26,430

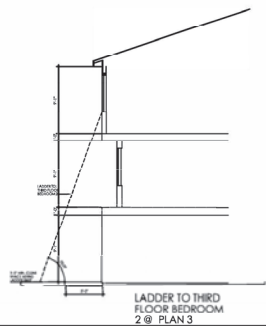
BUILDINGS 14&15	
FLOOR 1	6,301
FLOOR 2	5,653
FLOOR 3	6,668
TOTAL PER BUILDING	18,622
BUILDINGS 12-15 TOTAL	37,244



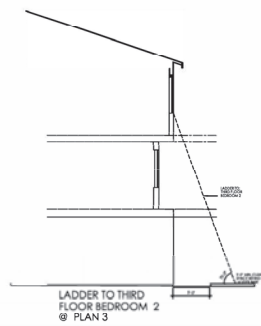
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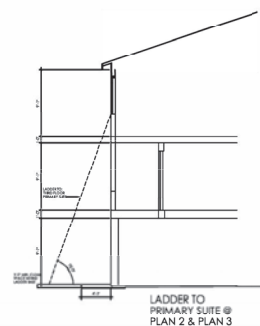
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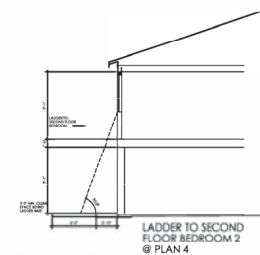
TANDEM TOWNS



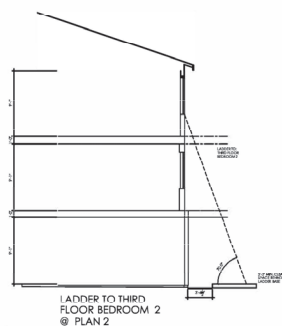
TANDEM TOWNS



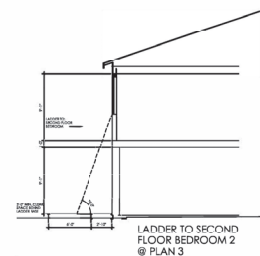
TANDEM TOWNS



TANDEM TOWNS



BACK TO BACK TOWNS



BACK TO BACK TOWNS

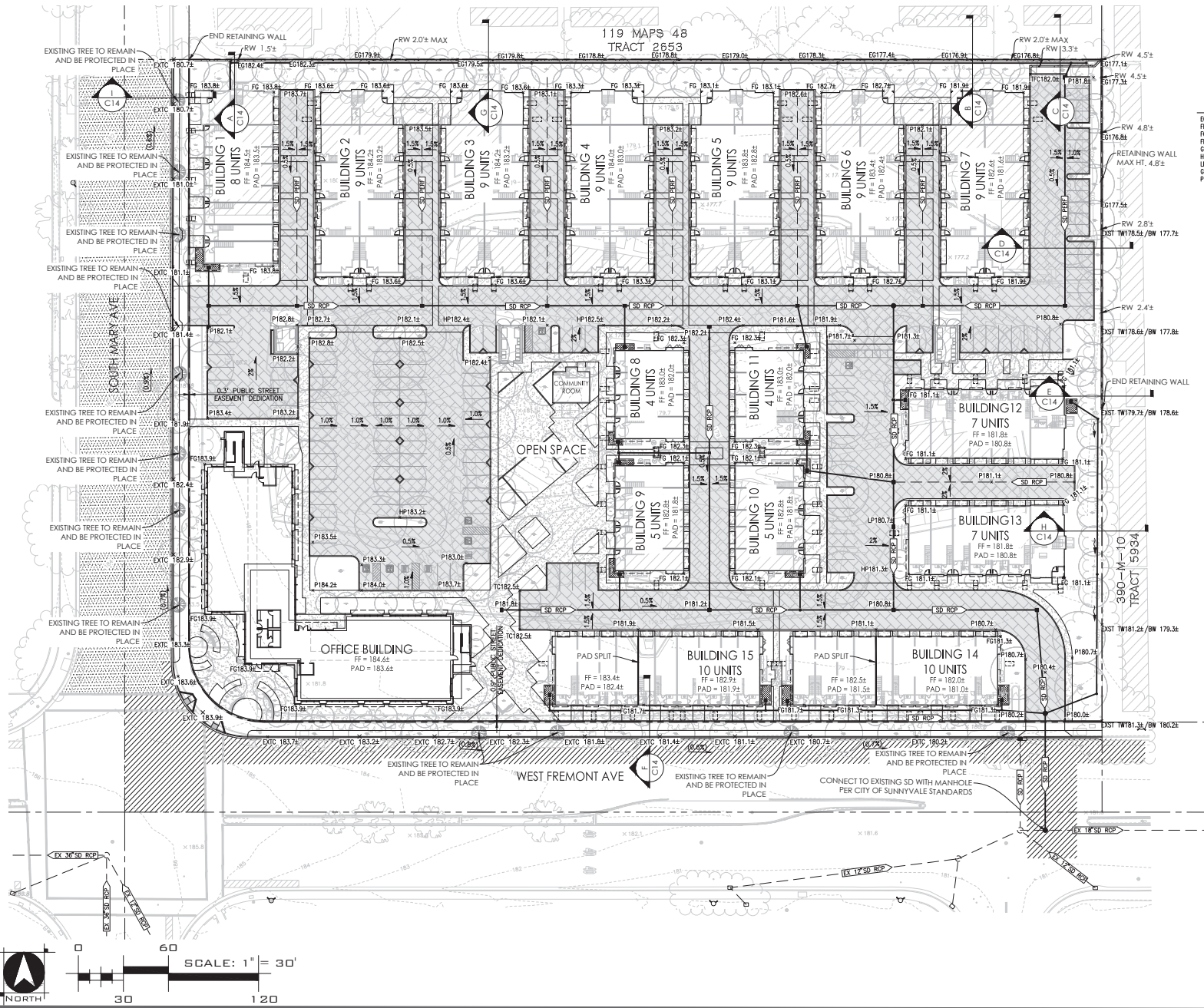
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C12

LADDER PAD EXHIBIT TANDEM TOWNS AND BACK TO BACK TOWNS
FOOTHILL VILLAGE CENTER, FMDC
SUNNYVALE, CALIFORNIA

NOTE: SQUAREFOOTAGE MAY VARY BASED ON CALCULATION METHODS
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ABBREVIATIONS

EG	EXISTING GROUND	SD	STORM DRAIN
FF	FINISHED FLOOR	TC	TOP OF CURB
FG	FINISHED GRADE	TW	TOP OF RETAINING WALL
FL	FLOOR LINE	RW	FINISHED GRADE AT RETAINING WALL
GFT	GARAGE FINISHED FLOOR	(X)	EXISTING SPOT GRADE
HP	HIGH POINT		
LP	LOW POINT		
GB	GRADE BREAK		
P	PAVEMENT		

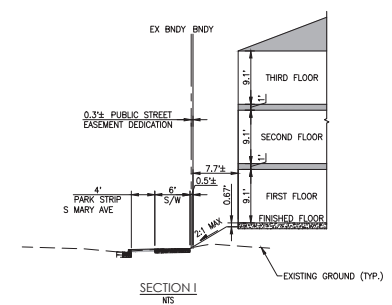
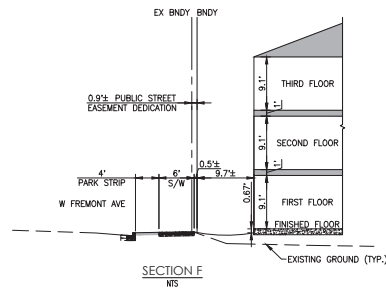
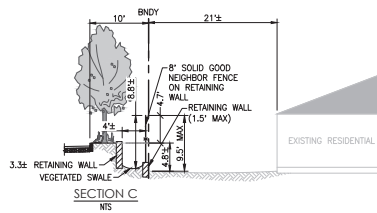
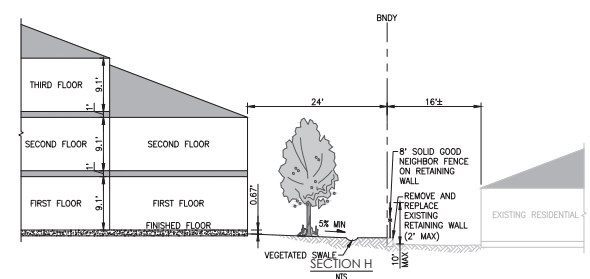
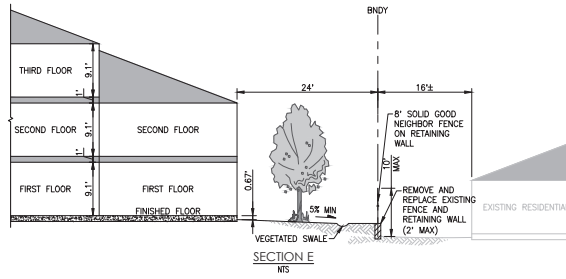
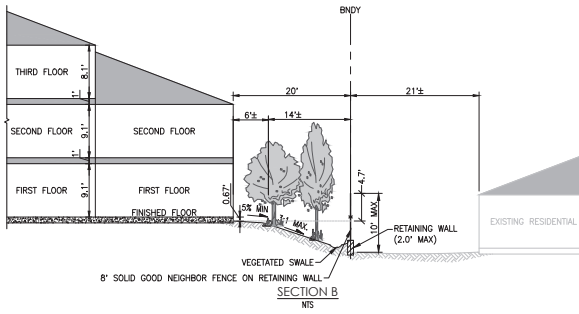
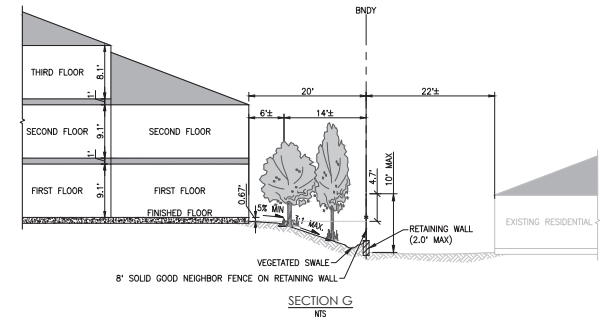
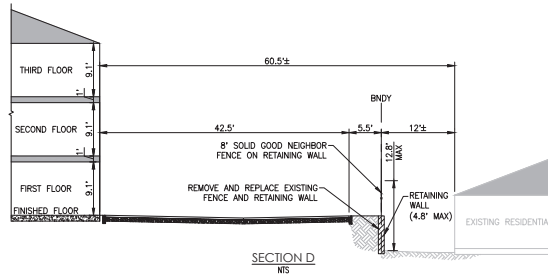
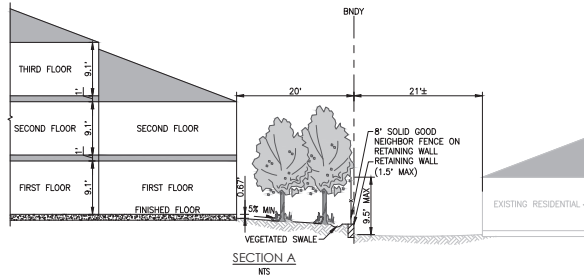
C13 PRELIMINARY GRADING PLAN

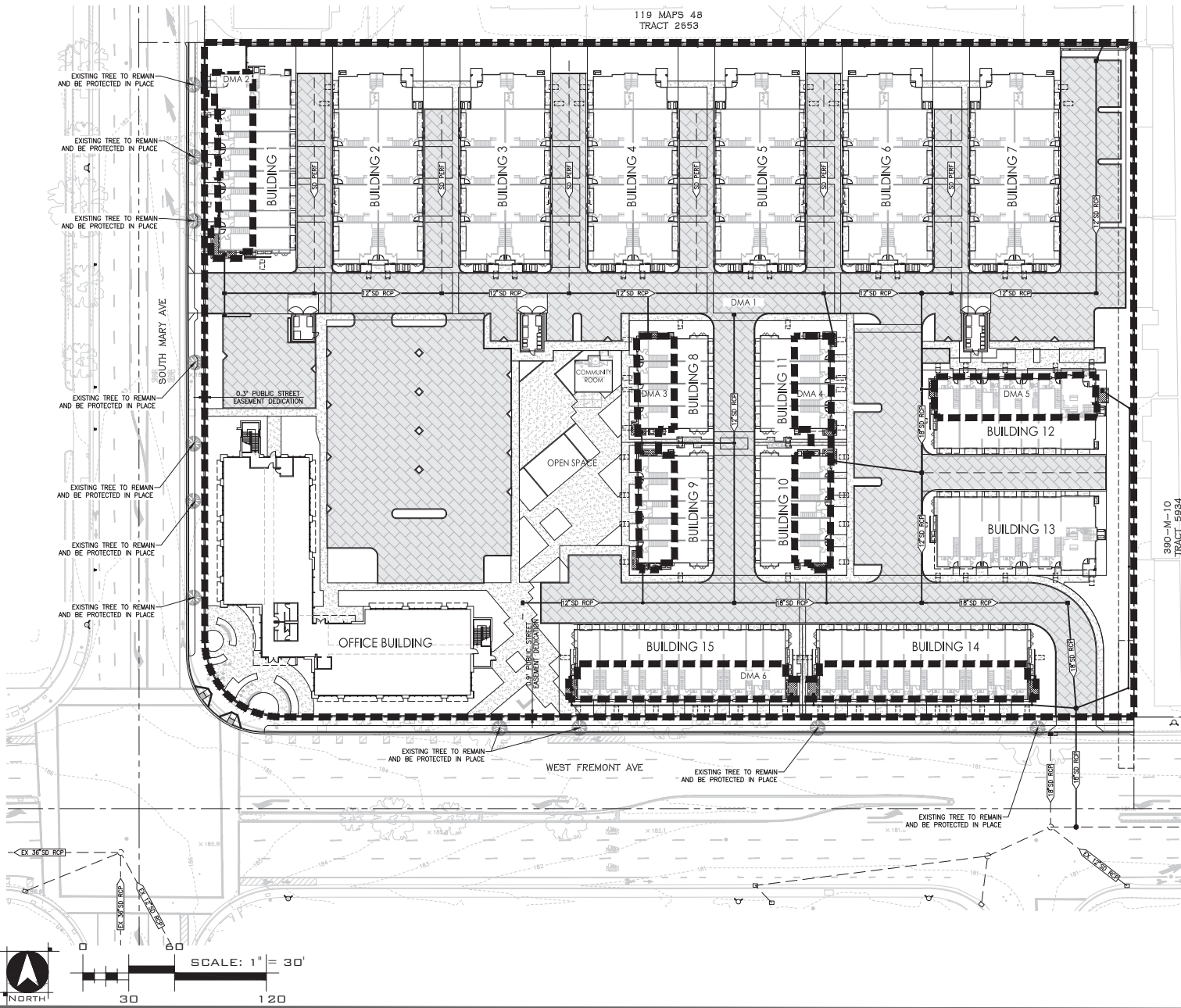
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NOTE: TREES SHOWN FOR REFERENCE ONLY. SEE LANDSCAPE PLANS FOR DETAILS.





LEGEND

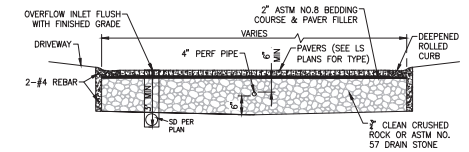
PROPOSED

	PROJECT BOUNDARY
	STORM DRAIN PIPE
	STORM DRAIN PERF PIPE
	STORM DRAIN MANHOLE
	DRAIN INLET
	DRAINAGE MANAGEMENT AREA BOUNDARY
	PERVIOUS PAVERS
	FLOW THRU PLANTER

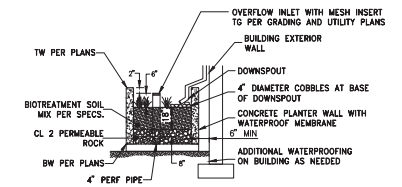
DRAINAGE MANAGEMENT AREA SUMMARY								
DRAINAGE MANAGEMENT AREA (DMA)	SEWALK (SF)	ROOF (SF)	TOTAL IMPERVIOUS AREA (SF)	TOTAL PERVIOUS AREA (SF)	TOTAL EFFECTIVE IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA (SF)	PROVIDED TREATMENT AREA (SF)	TREATMENT TYPE
1	22,413	73,120	95,533	154,318	110,965	79,000	84,729	SELF-RETAINING/PERVIOUS PAVERS
2	0	2,789	2,789	162	2,805	112	112	FLOW THRU PLANTER
3	0	3,028	3,028	364	3,064	123	123	FLOW THRU PLANTER
4	0	3,042	3,042	369	3,079	123	123	FLOW THRU PLANTER
5	0	2,715	2,715	144	2,729	109	109	FLOW THRU PLANTER
6	0	6,174	6,174	529	6,227	250	297	FLOW THRU PLANTER

NOTES

- ALL TREATMENT MEASURES AND TECHNICAL REQUIREMENTS FOR THIS PROJECT ARE BASED ON THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPP) C.3. STORMWATER HANDBOOK DATED JUNE 2014.
- PROJECT IS EXEMPT FROM HYDROMODIFICATION BECAUSE THE PROJECT WATERSHED DRAINS TO A HARDENED CHANNEL AND/OR TIDAL AREA.
- REQUIRED SURFACE AREA OF THE PERVIOUS PAVERS IS CALCULATED BY USING THE 80% CAPTURE METHOD ASSUMING A MAXIMUM PONDING DEPTH OF 6 INCHES.



PERVIOUS PAVERS SECTION



FLOW THROUGH PLANTER

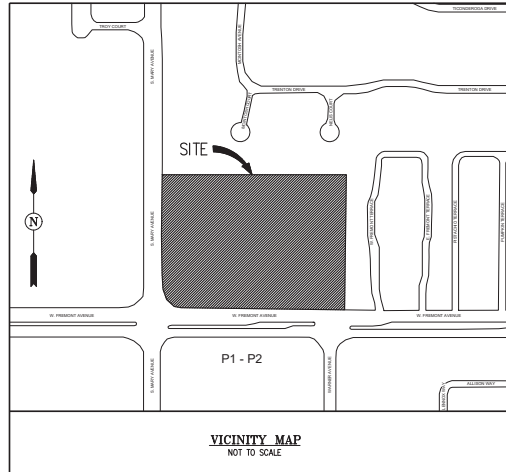
C16 PRELIMINARY STORMWATER QUALITY CONTROL PLAN

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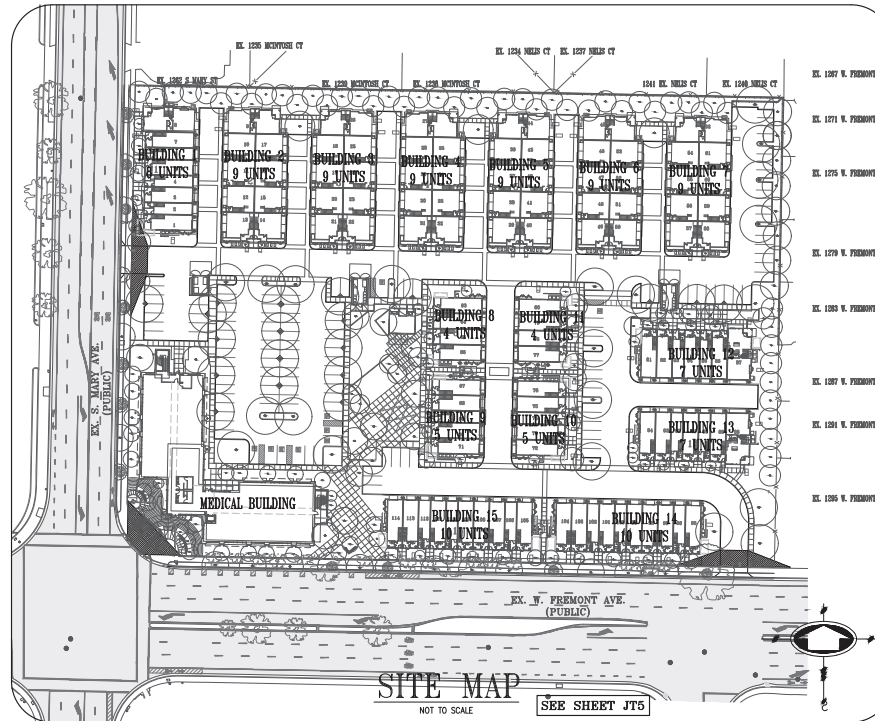
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SUNNYVALE SANTA CLARA COUNTY CALIFORNIA



SHEET INDEX	
SHEET NO.	DESCRIPTION
JT1	JOINT TRENCH COMPOSITE TITLE SHEET
JT2	JOINT TRENCH GENERAL NOTES AND DETAILS
JT3	JOINT TRENCH DETAILS
JT4	JOINT TRENCH SECTIONS AND DETAILS
JT5	JOINT TRENCH COMPOSITE PLAN
SL1 - SL4	STREET LIGHTING GENERAL NOTES AND DETAILS
SL5	STREET LIGHTING SITE PLAN
PE1	PHOTO METRIC SHEETS
P1-P7	PHOTO EXHIBIT SHEETS

3,646 L.F. OF JOINT TRENCH AND X STREET LIGHTS SHALL BE INSTALLED WITH THIS JOINT TRENCH PLAN SET	
15	MIXED USE BUILDING TYPE & (1) MEDICAL BUILDING
115	NEW SERVICE COMPLETIONS
1	NEW SERVICE COMPLETIONS (IRRIGATION CONTROLLER)



LEGEND	
— JT —	PROPOSED JOINT TRENCH
— JTK —	PROPOSED JOINT TRENCH CROSSING
— BVC —	PROPOSED JOINT TRENCH SERVICE
— EX JT —	EXISTING JOINT TRENCH
— GAS —	PROPOSED GAS
— MP —	PROPOSED MISCELLANEOUS POWER
— EX GAS —	EXISTING GAS
— EX FO —	EXISTING FIBER OPTIC
— EBL —	EXISTING STREET LIGHT CONDUIT
— EX PET —	EXISTING PETROLEUM
— ECUUG —	EXISTING UNDERGROUND CATV LINES
— EBUG —	EXISTING UNDERGROUND ELECTRIC LINES
— EUGUG —	EXISTING UNDERGROUND UTILITY LINES
— ETUG —	EXISTING UNDERGROUND TELEPHONE LINES
— EUGH —	EXISTING OVERHEAD UTILITY LINES
— ECUH —	EXISTING OVERHEAD CATV LINES
— ETOH —	EXISTING OVERHEAD TELEPHONE LINES
— EEOH —	EXISTING OVERHEAD ELECTRIC LINES
— HIGH VOLTAGE —	EXISTING OVERHEAD HIGH VOLTAGE ELECTRIC LINES
— CUG —	PROPOSED UNDERGROUND CATV LINES
— EUG —	PROPOSED UNDERGROUND ELECTRIC LINES
— TUG —	PROPOSED UNDERGROUND TELEPHONE LINES
— UOH —	PROPOSED OVERHEAD UTILITY LINES
—	DESIGNATES UTILITY LINES TO BE REMOVED
□	EXISTING PRIMARY SPUR BOX
□	EXISTING SECONDARY SPUR BOX

TARRAR UTILITY REP.:	KHALD TARRAR	JOB NO.	221092	PHONE NO.	(825) 240-2595
DEVELOPER:	CALSON PROPERTIES	JOB NO.	221092	PHONE NO.	R.DEVELPHNO
PG&E ELECTRIC COORDINATOR:	R.ELEC REP	JOB NO.	R.ELECOBNO	PHONE NO.	R.ELECPHNO
PG&E GAS COORDINATOR:	R.GAS REP	JOB NO.	R.GASOBNO	PHONE NO.	R.GASPHNO
TELEPHONE REP.:	ROBERT HASSING	JOB NO.	-	PHONE NO.	(408) 655-8825
CABLE T.V. REP.:	BEN LOPEZ	JOB NO.	-	PHONE NO.	(959) 219-0322

FILES STATUS				
DESCRIPTION:	BY:	DATE:	STATUS:	
CIVIL PLANS (ELECTRONIC FILE)	WOOD ROGERS	02-22-2023	R	
ARCHITECTURAL PLANS (ELECTRONIC FILE)	WOODLEY ARCHITECTURAL GROUP	02-24-2023	R	
LANDSCAPE PLANS (ELECTRONIC FILE)	RS STUDIOS	02-22-2023	R	
GAS DESIGN	XXXX	XX-XX-XXXX	XXXX	
ELECTRIC DESIGN	XXXX	XX-XX-XXXX	XXXX	
TELEPHONE INTENT REPLY	XXXX	XX-XX-XXXX	XXXX	
CATV INTENT REPLY	XXXX	XX-XX-XXXX	XXXX	
STREET LIGHT PLANS - PUBLIC	XXXX	XX-XX-XXXX	XXXX	
STREET LIGHT PLANS - PRIVATE	XXXX	XX-XX-XXXX	XXXX	
SOILS REPORT	XXXX	XX-XX-XXXX	XXXX	

A = APPROVED • ANS = APPROVED NOT SIGNED • NA = NOT APPROVED • F = FIRST SUBMITTAL • SS = SECOND SUBMITTAL • R = RECEIVED

TARRAR UTILITY CONSULTANTS
APPROVED FOR SUBMITTAL
HAIDER KAMMOONAH
QUALIFIED APPLICANT DESIGN ENGINEER

DEVELOPER
PLEASE NOTE AND SIGN
ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE
ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPERS ENGINEER.
ALL COSTS TO RELOCATE OR REGRADE BOXES AT A LATER DATE
WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR JOB
SUFT, VERIFY THE CORRECT GRADE OF ALL ENCLOSURES AND
BOXES, AND SIGN AND DATE DRAWING. THANK YOU

SIGNED _____ DATE _____

COMPOSITE DRAWING BY DEVELOPER
Estimate # _____
Approved _____ Date _____
Approved _____ Date _____
PG & E is not responsible for the accuracy of the specifications shown
on this drawing.

COMPOSITE DRAWING BY DEVELOPER
Approved _____ Date _____
Approved _____ Date _____

02.28.23 0 4 8 16

JT-1

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• Structural • P&E Survey
• Foundation • P&E Survey
• Steel • P&E Survey
• Concrete • P&E Survey
• Masonry • P&E Survey
• Wood • P&E Survey
• Roofing • P&E Survey
• Siding • P&E Survey
• Windows • P&E Survey
• Doors • P&E Survey
• Floors • P&E Survey
• Walls • P&E Survey
• Ceilings • P&E Survey
• Stairs • P&E Survey
• Etc. • P&E Survey

PROJECT NOTES:

1. FIELD ADJUST SERVICES TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYPICAL).
2. CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BACKFILLING AND OTHER WORK AS SHOWN OR NOTED ON PLANS, AND AS SPECIFIED ON UTILITY BID DOCUMENTS.
3. FIELD ADJUST SPICE BOXES TO KEEP CLEAR OF SIDEWALK, DRIVEWAYS AND EXISTING FACILITIES (TYPICAL).
4. A 3 FOOT LEVEL WORKING AREA MUST BE MAINTAINED AROUND ALL ELECTRIC ENCLOSURES. PRIOR TO ENERGIZING THE SYSTEM, THE ELECTRIC UTILITY COMPANY INSPECTOR WILL DETERMINE IF RETAINING WALLS ARE REQUIRED TO MEET MINIMUM CLEARANCE BETWEEN ENCLOSURES AND THE TOPS OR SIDES OF SLOPES. IF RETAINING WALLS ARE REQUIRED, THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE CITY/COUNTY BUILDING DEPARTMENT PRIOR TO WALL CONSTRUCTION.
5. TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL SHEET J13 (TYPICAL).
6. CONTRACTOR SHALL PLACE ALL UTILITY SPICE BOXES, ENCLOSURES & CONDUIT IN PROPER RELATIONSHIP TO FINAL GRADE (SHOWN SCHEMATICALLY).
7. ALL PG&E, TELEPHONE, CABLE T.V. AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER, WATER LATERALS AND DRIVEWAYS.
8. CONTRACTOR SHALL COORDINATE ALL CONNECTIONS BETWEEN PROPOSED AND EXISTING FACILITIES AS DIRECTED BY THE RESPECTIVE UTILITY COMPANY INSPECTOR. UTILITY COMPANY PERSONNEL SHALL MAKE ALL "HOT TIE-INS"; THE CONTRACTOR IS PROHIBITED FROM WORKING IN ANY ENERGIZED FACILITIES.
9. THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE STREET EXCAVATION AND ENCROACHMENT PERMIT(S) FROM THE CITY/COUNTY PRIOR TO STARTING WORK IN THE PUBLIC STREET AREA.
10. FIELD LOCATE JOINT TRENCH FACILITIES TO KEEP CLEAR OF SERVICE LATERALS. SERVICE LATERALS TO BE ROUTED TO AVOID SPICE BOX (ADDITIONAL P.U.E MAY BE REQUIRED).
11. RESPECTIVE UTILITY COMPANY TO OBTAIN CITY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
12. UNLESS OTHERWISE SHOWN ON THE PLANS, NATURAL BENDS SHALL BE USED FOR ALL CONDUIT EXCEPT STREET LIGHT CONDUIT.
13. INCIDENTAL TRENCHING TO SPICE BOXES NOT SHOWN (TYPICAL). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPICE BOXES AND CABINETS (TYPICAL).
14. ALL CONDUITS SHALL ENTER OR EXIT PERPENDICULAR TO BOX WALLS.
15. ALL CONDUITS MUST BE MANHOLE TESTED AND APPROVED.
16. OFFSET SPICE BOXES TO ROUTE TELEPHONE/FIBER OPTIC CONDUIT AS NEEDED (TYPICAL).
17. PULL ROPES SHALL BE PLACED IN ALL EMPTY CONDUITS AS REQUIRED BY EACH UTILITY COMPANY.
18. ALL PG&E SPICE BOXES ADJACENT TO TRANSFORMER SHALL BE 26" IN DEPTH (TYPICAL).
19. ALL CONDUITS NOT ENTERING SPICE BOXES OR ENCLOSURES SHALL BE CAPPED.
20. COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
21. THE STREET LIGHT SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" AND LIGHT SCHEDULE AS SHOWN ON THESE PLANS.
22. ALL EXISTING DUCTS TO BE USED IN THESE PLANS SHALL BE "VERIFIED" BY PULLING A MANHOLE THROUGH THE ENTIRE EXISTING LENGTH PRIOR TO CONNECTION.
23. EDGE OF SPICE BOXES & PEDESTALS SHALL BE 5' FROM EDGE OF FIRE HYDRANT AND 3' FROM STREET LIGHT (TYPICAL). CONTRACTOR TO AVOID DISTURBING FIRE HYDRANT THRUST BLOCK.
24. ALL UTILITY SUBSTRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" SHOWN ON THESE PLANS.
25. MAINTAIN 3' CLEARANCE AND LEVEL AREA AROUND PRIMARY SPICE BOXES & XFMRs.
26. DUE TO UNCERTAINTIES OF THE EXACT LOCATION OF EXISTING FACILITIES, FIELD LOCATION OF PROPOSED FACILITIES MAY BE REQUIRED. CONFIRM WITH VARIOUS UTILITIES FOR EXACT PLACEMENT.
27. FOR CLARITY - BOXES/PEDESTALS ARE SHOWN AT LARGER SIZE THAN ACTUAL. FIELD ADJUST TO KEEP CLEAR OF DRIVEWAYS (TYPICAL).
28. ALL SERVICE FACILITIES SHALL BE EXTENDED TO EITHER THE PROPERTY LINE OR TO POSITION SHOWN ON THE PLANS, AND THEN CAPPED, BURIED AND LOCATION STAKED.
29. THESE PLANS WERE PREPARED UTILIZING PLANS RECEIVED FROM WOOD ROGERS (925-847-8919).

ABBREVIATION LIST

B/C	BACK OF CURB	H.P.S.	HIGH PRESSURE SODIUM	RT	RETAINING WALL
B/W	BACK OF WALK	IRL	IRIGATION CONTROLLER	R/W	RIGHT OF WAY
BTU	BRITISH THERM UNITS	J.T.	JOINT TRENCH	SCH.	SCHEDULE
CB	CATCH BASIN	KV	KILO-VOLTS	SD	STORM DRAIN
C	CENTURINE	LE	LANDSCAPE EASEMENT	SH	SHEET
CAT.	CATALOG	LF	LINEAR FOOT/FEET	S/W	SIDE WALK
C OR CATV	CABLE TELEVISION	MH	MANHOLE	SS	SANITARY SEWER
CFH	CUBIC FEET PER HOUR	MIN.	MINIMUM	SSE	SANITARY SEWER EASEMENT
CPH	CAPITOL IMPROVEMENT PROJECT	MPOE	MINIMUM POINT OF ENTRY	ST. LT.-S/L	STREET LIGHT
CL	CENTER LINE	N.T.S.	NOT TO SCALE	SUBDV	SUBDIVISION
CU	COPPER	O.D.	OUTER DIAMETER	SqFt.	SQUARE FOOTAGE
E	ELECTRIC	O.H.	OVER HEAD	T	TELEPHONE
EP	EDGE OF PAVEMENT	PEDE	PRIVATE WAREHOUSE, EGRESS, AND UTILITY EASEMENT	TUC	TARRANT UTILITY CONSULTANTS
EME	EMERGENCY VEHICLE ACCESS EASEMENT	P	PROPERTY LINE	TYP.	TYPICAL
EX	EXISTING	P.S.	POWER SUPPLY	T/S	TRAFFIC SIGNAL
F/C	FACE OF CURB	PROJ.	PROJECT	U/G	UNDERGROUND
FI	FIRE HYDRANT	P/SIDE	PRIVATE STORM DRAIN EASEMENT	U/O/L	UNLESS OTHERWISE NOTED
FUT.	FUTURE	PSE	PUBLIC SERVICE EASEMENT	V	VOLT
F.O.T.	FIBER OPTIC	P/VAV	PRIVATE VEHICLE ACCESS WAY	W	WATT
G	GAS	P.V.C.	POLY VINYL CHLORIDE	WT	WATER
G.V.	GALVANIZED	P.W.	PUBLIC WATER LINE EASEMENT	W/	WITH
G.E.	GENERAL ELECTRIC	POWER	POWER	W/O	WITHOUT
GRD.	GROUND	PUE	PUBLIC UTILITY EASEMENT	W/L	WATER LINE EASEMENT
H.O.A.	HOME OWNERS ASSOCIATION			XFMR	TRANSFORMER

JOINT TRENCH AND UTILITY BOX LOCATION

JOINT TRENCH STREET SECTIONS

NOT TO SCALE
NOTE: SEE PLANS FOR CONFIGURATIONS AND ARRANGEMENTS.
* UNLESS OTHERWISE SHOWN

WITHIN ROADWAY SECTION
(90% RELATIVE COMPACTION FOR THE TOP 6"
BELOW ROAD SUBGRADE AND 90% BELOW THAT)

PRIVATE STREET LIGHT TRENCH LOCATION ADJACENT TO JOINT TRENCH

GENERAL NOTES:

1. ALL JOINT TRENCH CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH PG&E UTILITY OPERATIONS UO STANDARD 55453.
2. ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND SATISFACTION OF ALL PARTICIPATING UTILITIES AND CITY INSPECTORS.
3. BACKFILL SELECTION SHALL BE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANIES, THE SOILS ENGINEER AND THE CITY AND/OR COUNTY WHERE THE PROJECT IS LOCATED. CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACKFILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
4. THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION 55453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND NOTIFY ALL PARTICIPATING UTILITY INSTALLATIONS.
7. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRANT UTILITY CONSULTANTS.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND/OR PRECISE LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. TARRANT UTILITY CONSULTANTS MAKES NO WARRANTY WHATSOEVER THAT THE EXISTING UNDERGROUND UTILITIES AND/OR STRUCTURES DEPICTED ON THE PLANS HAVE BEEN ACCURATELY LOCATED OR THAT THERE ARE NO OTHER UNDERGROUND UTILITIES AND STRUCTURES IN ADDITION TO WHAT HAS BEEN SHOWN. CALL U.S.A. A MINIMUM OF 48 HOURS PRIOR TO STARTING CONSTRUCTION. FOR CALIFORNIA NORTH, (SERRA COUNTY AND NORTHERLY, AND NEVADA) CALL (800)227-2600. FOR CALIFORNIA SOUTH, (SAN BERNARDINO COUNTY AND SOUTHERLY) CALL (800)422-4133.
9. CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES AND WITH THE REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, O.S.H.A. AND ANY OTHER GOVERNMENTAL AGENCY RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT AND LABOR PERSONNEL.
10. THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE COMPLEMENTARY TO EACH OTHER. ANYTHING SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, SHALL BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH. IF DISCREPANCY IS FOUND, NOTIFY TARRANT UTILITY CONSULTANTS PRIOR TO STARTING WORK.
11. TRENCH AND CONDUIT LAYOUTS ARE SHOWN SCHEMATICALLY.
12. TRENCHING OR SUBSTRUCTURE EXCAVATION MAY NECESSITATE OPERATION OVER, UNDER, OR ADJACENT TO OTHER UNDERGROUND UTILITIES (STORM, SEWER, WATER, ETC.). THE CONTRACTOR IS RESPONSIBLE TO LOCATE, PROSPECT, EXPOSE AND PROTECT ALL ADJACENT OR CROSSING UNDERGROUND UTILITIES. THIS WORK TO PROTECT THOSE UTILITIES IS NOT CONSIDERED AS EXTRA WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW IMPROVEMENT PLANS, IN CONJUNCTION WITH THIS PLAN, AND BID THE WORK ACCORDINGLY.
13. THE QUANTITIES SHOWN ON THESE PLANS ARE ONLY ESTIMATES OF WHAT WILL ACTUALLY BE REQUIRED FOR THE CONSTRUCTION OF THE OVERALL PROJECT. FINAL QUANTITIES MAY VARY ACCORDING TO CHANGES, ADDITIONS, DELETIONS OR OMISSIONS ON THE ORIGINAL PLAN.
14. VERIFY ALL SUBSTRUCTURE EXCAVATION DIMENSIONS WITH SUPPLIER(S) BEFORE BEDDING.
15. TARRANT UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHOULD REVIEW THE PROJECT SITE PRIOR TO SUBMITTING BID.
16. THE CONTRACTOR IS REQUIRED TO EXCAVATE BELL HOLE(S) AT TIE-IN LOCATIONS AS DIRECTED BY PARTICIPATING UTILITY.
17. CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDING TO THE WORKING ENERGIZED EQUIPMENT. THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.
18. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AS-BUILT DRAWINGS AFTER INSTALLATION OF PG&E'S GAS AND ELECTRIC SYSTEMS (PRIOR TO "HOT TIE-INS").
19. THE CITY INSPECTOR SHALL BE NOTIFIED TWO WORKING DAYS PRIOR TO COMMENCEMENT OF WORK. COORDINATE WITH THE INSPECTOR ANY SERVICES TO BE ABANDONED.
20. THE CONTRACTOR IS TO VERIFY THE RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.
21. PG&E'S GENERAL TERM AND CONDITIONS FOR GAS AND ELECTRIC EXTENSION AND SERVICE CONSTRUCTION BY "APPLICANT" (EFFECTIVE 07/1/95) TO BE UTILIZED FOR ALL TRENCHING, BACKFILLING AND INSTALLATION WORK.
22. IN THE EVENT OF DISPUTES OR DISAGREEMENT OVER ANY INSTALLATIONS, DESIGNS, PLANS OR DRAWINGS, THE SPECIFICATIONS AND REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANIES AND THEIR INSPECTORS SHALL TAKE PRECEDENCE. IN CASE OF DISCREPANCIES WITHIN THE DRAWINGS AND SPECIFICATIONS HEREIN, THE CONTRACTOR SHALL CONSULT TARRANT UTILITY CONSULTANTS FOR INTERPRETATION BEFORE WORK IS STARTED.
23. TARRANT UTILITY CONSULTANTS HEREIN, ASSUMES NO RESPONSIBILITY WHATSOEVER FOR THE QUALITY, QUANTITY OR TIMING OF WORK TO BE PERFORMED BY THE CONTRACTOR, UTILITY COMPANY CONSTRUCTION CREWS, OR OTHER SUB-CONTRACTOR OF DEVELOPER.
24. ALL TRENCHING, BACKFILLING AND INSTALLATION WORK IS TO BE IN ACCORDANCE WITH THE STANDARD PRACTICES AND SPECIFICATIONS OF EACH UTILITY COMPANY PARTICIPATING IN THE UTILITY TRENCHES WITHIN THE PROJECT.
25. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POINTS OF ACCESS THAT ARE AGREEABLE TO ADJACENT LAND USES AND TENANTS AT ALL TIMES.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING WHAT INSPECTIONS WILL BE REQUIRED FOR APPROVAL OF THE WORK AND FOR COORDINATING ALL SUCH INSPECTIONS. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS PRIOR NOTICE TO THE CITY, SOILS ENGINEER, UTILITY COMPANIES OR ANY OTHER INDIVIDUALS OR PUBLIC AGENCIES THAT THE WORK IS READY FOR INSPECTION.
27. THE CONTRACTOR SHALL NOTIFY DEVELOPER 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE DEVELOPER'S SURVEYORS AND WILL BE BACK CHARGED FOR ANY RE-STAKING THAT IS REQUIRED. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO AND PAID FOR BY THE CONTRACTOR.
28. ALL TRANSFORMERS AND TRANSFORMER PADS ARE TO BE INSTALLED PER PG&E SPECIFICATIONS. PROTECTIVE BOLLARDS ARE TO BE PLACED WHERE NEEDED.
29. THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
30. KEEP ALL BOXES AND PEDESTALS WITHIN PUBLIC UTILITY EASEMENTS OR RIGHT OF WAY, AS SHOWN.
31. ALL SAND BACKFILL MUST HAVE TESTING OF PH LEVEL AS WELL AS SAND EQUIVALENT. SEE CITY OF SUNNYVALE REQUIREMENTS.
32. THE PROPOSED CONSTRUCTION OPERATION MAY TAKE PLACE AT OR NEAR FENCE LINES, PROPERTY LINES AND PROPERTY IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THESE AREAS AND FOR MAINTAINING THESE AREAS AND FACILITIES AT ALL TIMES DURING THE CONSTRUCTION OPERATION.
33. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITION AND SHALL DEFEND AND HOLD THE DEVELOPER AND TARRANT UTILITY CONSULTANTS HARMLESS FROM ANY ALLEGED CLAIMS OR LIABILITIES, EXCEPT THOSE ARISING FROM SOLE NEGLIGENCE OF THE DEVELOPER OR TARRANT UTILITY CONSULTANTS.
34. THE APPROXIMATE LOCATIONS OF ALL EXISTING UTILITY COMPANY UNDERGROUND LINES, POLES BOXES, ETC. WERE OBTAINED FROM A REVIEW OF AVAILABLE UTILITY COMPANY RECORDS, REPRESENTATIONS OF UTILITY COMPANY PERSONAL, OR FIELD OBSERVATIONS. NEITHER THE DEVELOPER NOR TARRANT UTILITY CONSULTANTS ASSUME ANY RESPONSIBILITY FOR VARIANCES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. NO EXTRA PAYMENT WILL BE MADE TO THE CONTRACTOR FOR ANY ADDITIONAL TRENCHING, BOX EXCAVATIONS, MATERIALS, ETC. THAT MAY BE REQUIRED TO COMPLETE THIS PROJECT IN THE EVENT AN EXISTING TIE-IN POINT SUBSTRUCTURE IS EITHER NON-EXISTING OR IS NOT SHOWN ON THE PLANS IN ITS ACTUAL FIELD POSITION. IT IS THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO SAFELY LOCATE ALL EXISTING UNDERGROUND FACILITIES BY SURFACE MARKING AND/OR HAND EXCAVATION PRIOR TO STARTING CONSTRUCTION.
35. "DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE TO OBTAIN A CITY OF SUNNYVALE ENCROACHMENT PERMIT FOR ALL WORK DONE IN THE PUBLIC RIGHT OF WAY. DEVELOPER AND/OR CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE JOINT TRENCH PLANS TO THE CITY OF SUNNYVALE AT THE TIME OF APPLICATION FOR THE ENCROACHMENT PERMIT."

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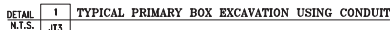
JT-2

FOOTHILL VILLAGE CENTER, FMD C
SUNNYVALE, CALIFORNIA
NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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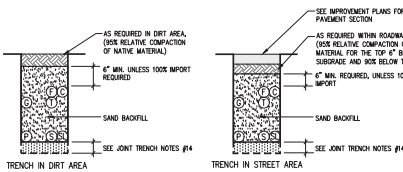
1. THE SUBSURFACE ENCLOSURE MUST BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF AS MODIFIED BY THE PROVISIONS HEREIN.
2. A LOW DESIGN GROUNDWATER LEVEL IS THE CONDITION WHERE THE DESIGN GROUNDWATER LEVEL IS AT OR BELOW THE EXCAVATION DEPTH OF THE ENCLOSURE.
3. A HIGH DESIGN GROUNDWATER LEVEL IS THE CONDITION WHERE THE DESIGN GROUNDWATER LEVEL IS ABOVE THE EXCAVATION DEPTH OF THE ENCLOSURE.
4. ALL REQUESTS TO USE SUBSURFACE TRANSFORMERS REQUIRE SOIL CHLORIDE TESTING, AND DETERMINATION OF DESIGN GROUND WATER LEVEL.
5. SOIL CHLORIDE TESTING AND GROUNDWATER LEVEL DETERMINATION IS THE RESPONSIBILITY OF THE APPLICANT. POSE DOES NOT REIMBURSE THE APPLICANT FOR THE COST.
6. SOIL CHLORIDE TESTING MAY BE OMITTED IF THE APPLICANT elects TO PROVIDE EXTERIOR WATERPROOFING OF THE SUBSURFACE ENCLOSURE, OR WHERE WATERPROOFING OF THE EXTERIOR SURFACE IS OTHERWISE REQUIRED SUCH AS IN HIGH DESIGN GROUNDWATER TABLE.
7. SOIL CHLORIDE TESTING IS NOT FEASIBLE UNDER THE SUPERVISION OF A STATE LICENSED PROFESSIONAL CORROSION OR GEOLOGICAL ENGINEER.
8. SOIL CHLORIDE TESTS SHALL BE TAKEN IN THE VICINITY OF THE PROPOSED SUBSURFACE TRANSFORMER IN A LOCATION CHOSEN TO BE ADEQUATELY REPRESENTATIVE OF THE SOIL STRATA THAT COULD IMPACT THE STRUCTURE OF THE ENCLOSURE OR THE EQUIPMENT IN THE ENCLOSURE, AS DETERMINED AND STATED ON THE REPORT SUBMITTED BY THE STATE LICENSED PROFESSIONAL ENGINEER IN RESPONSIBLE CHARGE.
9. THE SOIL MUST BE TESTED FOR CHLORIDE BY ONE OF THE FOLLOWING APPLICABLE STANDARDS:
CHLORIDE CONTENT PER ASTM D4327, ASTM D592, CEN 422, OR AASHI.
IF CHLORIDE CONTENT IS GREATER THAN 5000 PARTS PER MILLION (PPM), ENCLOSURE REQUIRES WATERPROOFING.
10. GROUNDWATER LEVEL DETERMINATION SHALL BE PERFORMED BY A STATE LICENSED PROFESSIONAL GEOLOGICAL ENGINEER AND SHALL BE BASED ON SITE SPECIFIC BORINGS AND OTHER INFORMATION AS DEEMED SUFFICIENT BY THE STATE LICENSED GEOLOGICAL ENGINEER IN RESPONSIBLE CHARGE.
11. ENCLOSURES IN LOW DESIGN GROUNDWATER LEVEL AREAS AND WHERE CHLORIDE CONTENT IS GREATER THAN 5000 PPM REQUIRE WATERPROOFING. IF CHLORIDE CONTENT IS LESS THAN 5000 PPM, INSTALL THE ENCLOSURE PER DOCUMENT 062000.
12. ENCLOSURES IN HIGH DESIGN GROUNDWATER LEVEL AREAS REQUIRE WATERPROOFING.
13. WATERPROOFING INCLUDES THE FOLLOWING:
 - A. SEALING OF ALL JOINTS (TERMINATIONS) ENTERING THE ENCLOSURE.
 - B. APPLICATION OF WATERPROOFING MEMBRANE ON ALL EXTERIOR SURFACES INCLUDING THE BOTTOM OF THE BOTTOM SLAB. WATERPROOFING MAY BE APPLIED BY THE SUPPLIER OR IT MAY BE APPLIED IN THE FIELD. WHERE EXTENSIONS ARE ADDED IN THE FIELD, SEAL THE JOINT. APPROVED SEALED GROUNDWATER PROTECT TO INSTALLATION OF THE EXTENSION. THEN APPLY THE WATERPROOFING OVER THE JOINT. NOTE: GROUND ROADS SHALL BE INSTALLED BEFORE BACKFILLING AND WHILE TEMPORARY CONTROL OF GROUNDWATER IS IN PLACE. SEAL GROUND ROD HOLES WITH WET - USE EPOXY.
 - C. SEALING OF PROTRUSION MEMBRANCES ON ALL EXTERIOR SURFACES INCLUDING THE BOTTOM OF THE BOTTOM SLAB TO PREVENT MEMBRANE DAMAGE DURING BACKFILL OPERATIONS.
 - D. SEALING OF JOINTS BETWEEN ENCLOSURE SECTIONS OR EXTENSIONS
 - E. SEALING OF GROUND ROD HOLES.
 - F. DO NOT BREAK OUT THE FOUR KNOCKOUTS LOCATED ON THE BOTTOM SLAB OF THE ENCLOSURE.

MATERIALS USED FOR WATERPROOFING THE ENCLOSURE:

1. WATERPROOFING MEMBRANE: TREMCO TREMP 250 GC APPLIED UNDER ELASTOMERIC WATERPROOFING MEMBRANE, MINIMUM 25 MILS NET THICKNESS. CARLISLES COW MIRAGE 860/861 SELF ADHERING SHEET MEMBRANE, WITH MANUFACTURER RECOMMENDED ADHESIVE PRIMER, OR APPROVED EPOXY.
2. PROTECTION BOARD: TREMCO HMP 60 PROTECTION SHEET, CARLISLES COW 200V PROTECTION FABRIC, OR APPROVED EQUAL.
3. RAYLATE COLD SEALING SYSTEM (ROSS) CONJUAL SEAL, REFER TO DOCUMENT 062888.



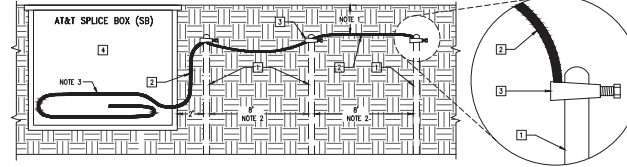
TYPICAL EXAMPLE OF STACKING FACILITIES IN JOINT TRENCH



1. TRENCH COVER & CLEARANCES SHOWN ARE MINIMUMS ONLY AND MAY REQUIRE ALTERATIONS TO SUIT FIELD CONDITIONS.
2. IT IS REMENDED THAT ALL FACILITIES ARE TO BE A MINIMUM OF 12" BELOW SUB-BASE DISTURBANCE.
 - * WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED, SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
 - * WHERE 6" GAS MAIN IS LOCATED IN THE JOINT TRENCH A 18" MINIMUM SEPARATION FROM GAS MAIN TO ALL UTILITIES WILL BE REQUIRED.
3. ** WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, STREET LIGHT SEPARATION MAY BE REDUCED TO 0" BETWEEN STREET LIGHT AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
6. TRENCH CONFIGURATIONS SHOWN ARE FOR INSTALLATION WHERE EACH OCCUPANT IS UTILIZING HIS ENTIRE SPACE ALLOCATION. OTHER CONFIGURATIONS OR REDUCED DIMENSIONS MAY BE USED, PROVIDED THAT MINIMUM COVER AND CLEARANCES ARE MAINTAINED.
7. THE CONTRACTOR IS TO ADJUST TRENCH DEPTHS AT ALL JOINT TRENCH LATERAL CROSSEINGS TO MAINTAIN REQUIRED CLEARANCES BETWEEN ALL PARTICIPATING UTILITIES.
8. TRENCH SECTIONS ARE SHOWN SCHEMATICALLY AND INDICATE AREAS OF OCCUPANCY ONLY. THEY DO NOT REFLECT SIZE OR QUANTITY OF FACILITIES TO BE INSTALLED.
9. TRENCH FOOTAGES PER SECTION ARE APPROXIMATE. SECTIONS ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS INDICATED ON EACH TRENCH PARTICIPANT'S CONSTRUCTION DRAWINGS.
10. THE CONTRACTOR SHALL VERIFY TRENCH FOOTAGES FOR ACCURACY PRIOR TO EXCAVATION AND TAKE NECESSARY PRECAUTION CROSSING WATER AND SEWER FACILITIES.
11. THE CONTRACTOR SHALL REFER TO THE COMPOSITE, CONDUIT, AND/OR EACH RESPECTIVE UTILITY INSTALLATION PLAN FOR THE NECESSARY CONDUIT CABLE AND/OR PIPE TO BE INSTALLED IN THIS PROJECT.
12. TYPE "M2" TRENCH SHALL BE INSTALLED AFTER CURB AND GUTTER INSTALLATION. CONTRACTOR SHALL COORDINATE ADDITIONAL MOVE-INS NECESSARY TO COMPLETE THE SERVICES TO THE DWELLING UNITS WITH THE DEVELOPER, ALL AGENCIES AND THE UTILITY COMPANIES. THE COST OF THESE MOVE-INS SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR TRENCHING.
13. THE AVERAGE TRENCH DEPTHS SHOWN ARE BASED ON THE MINIMUM UTILITY COMPANY REQUIREMENTS FOR DEPTH AND SEPARATION. CONTRACTOR SHALL ADJUST TRENCH WIDTH & DEPTH AS REQUIRED TO ADEQUATELY CLEAR EXISTING UNDERGROUND FACILITIES AND MAINTAIN MINIMUM UTILITY CLEARANCES. ALL TRENCHES OVER 60" DEPTH MUST COMPLY WITH OSHA REQUIREMENTS. (SEE THE JOINT TRENCH MINIMUM COVER AND CLEARANCE TABLE)
14. CONTRACTOR SHALL USE SAND BEDDING AND SHADING AS REQUIRED BY THE UTILITY COMPANIES. THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE DEPTH BEDDING. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION S453, EXHIBIT B AND AT&T SPECS "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
15. ALL TRENCHING AND BACKFILLING TO BE DONE IN ACCORDANCE WITH THE CITY OF SUNNYSVALE ENGINEERING STANDARDS AND SPECIFICATIONS.
16. ALL PG&E, TELEPHONE, CABLE, AND FIBER OPTIC BODIES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER AND WATER LATERALS AND DRIVEWAYS. ALL UTILITY VAULTS, BOXES, PEDESTALS, ETC. MUST MAINTAIN A 5' MINIMUM CLEARANCE FROM FIRE HYDRANTS, AND 3' MINIMUM FROM STREETS/LIGHTS.

[illegible]

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

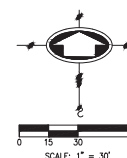


1. 8' LENGTH x 5/8" DIAMETER GROUND ROD POLES
2. BARE CONTINUOUS SOLID NUMBER 6 AWG. WIRE
3. GROUND CLAMP
4. TELEPHONE SPLICE BOX

1. MINIMUM DEPTH = 12 INCHES
2. GROUND BEDS MAY BE PLACED IN ANY CONFIGURATION AS LONG AS THE 8 FOOT SEPARATION BETWEEN GROUND BEDS IS MAINTAINED AND THE 2 FOOT SEPARATION FROM THE SB WALL IS NOT ENCRoACHED UPON
3. BARE #6 GROUND WIRE TO ENTER THROUGH SIDEWALL OR BOTTOM OF SB AND WRAP SB ONCE.

DETAIL	1	AT&T AERIAL AND BURIED
N.T.S.	JT4	GROUND BED DESIGN

THIS AREA RESERVED FOR JOINT TRENCH SECTIONS
TO BE PLACED AT A LATER TIME



TARRAR UTILITY CONSULTANTS
APPROVED FOR SUBMITTAL
HAIDER KAMMOONAH
QUALIFIED APPLICANT DESIGN ENGINEER

CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

[illegible]

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

Site & Area

PureForm

by @lignify

LED

Gardco PureForm LED post top features a sleek, low profile design. Comfort Opt is designed to enhance visual comfort by reducing glare. Type 1, 2, 3, and 4 optical distributions are available with lumens output up to 8000 lumens. A full range of control options provides additional energy savings. Optional integrated emergency battery backup is available for path-of-egress illumination.

Ordering guide

Model	Height	Arm	Head	Base	Finish	Notes
PPT-411	411"	411"	411"	411"	411"	411"
PPT-450	450"	450"	450"	450"	450"	450"
PPT-450-NW-G2	450"	450"	450"	450"	450"	450"
PPT-450-NW-G2-SL1	450"	450"	450"	450"	450"	450"

MANUFACTURER REP.: ASSOCIATED LIGHTING REPS, INC. (925) 987-9534 OAKLAND, CA REP: TM HALEY

1 GARDCO PUREFORM PPT LIGHT DETAIL
NOT TO SCALE

Site & Area

PureForm

by @lignify

LED

Gardco PureForm LED area small round comfort P20 features a sleek, low profile design. Comfort Opt is designed to enhance visual comfort by reducing glare. Type 1, 2, 3, and 4 optical distributions are available with lumens output up to 8000 lumens. A full range of control options provides additional energy savings. Optional integrated emergency battery backup is available for path-of-egress illumination.

Ordering guide

Model	Height	Arm	Head	Base	Finish	Notes
P20-411	411"	411"	411"	411"	411"	411"
P20-450	450"	450"	450"	450"	450"	450"
P20-450-NW-G2	450"	450"	450"	450"	450"	450"
P20-450-NW-G2-SL1	450"	450"	450"	450"	450"	450"

MANUFACTURER REP.: ASSOCIATED LIGHTING REPS, INC. (925) 987-9534 OAKLAND, CA REP: TM HALEY

2 GARDCO PUREFORM P20 LIGHT DETAIL
NOT TO SCALE

PRIVATE STREET LIGHTING NOTES

- ALL MATERIAL AND WORKMANSHIP SHALL FULLY CONFORM WITH THE NATIONAL ELECTRIC CODE AND STANDARD SPECIFICATIONS AND DETAILS OF THE CITY OF SUNNYVALE.
- THE ELECTRICAL CONTRACTOR SHALL INSTALL THE UNDERGROUND SERVICE FROM THE LUMINAIRE TO H.O.A. SERVICE POINT AND TERMINATE CONDUIT AND WIRES AT BOX AS DIRECTED BY THE CITY.
- KEEP STREET LIGHTS A MINIMUM OF 3 FEET AWAY FROM THE EDGE OF DRIVEWAYS, SEWER AND WATER LATERALS, AND 5 FEET AWAY FROM FIRE HYDRANTS & CATCH BASINS.
- TWO OR MORE STREET LIGHTS ON THE SAME CIRCUIT SHALL BE WIRED TO BALANCE THE LOAD. (SEE WIRING DIAGRAM), UNLESS OTHERWISE NOTED.
- CONDUIT AND FITTINGS: ALL CONDUIT AND FITTINGS SHALL BE U.L. APPROVED SCHEDULE 40 P.V.C., USE MINIMUM 2" SCH. 40 P.V.C. CONDUIT AND FITTINGS BELOW GRADE, UNLESS OTHERWISE NOTED OR REQUIRED. MINIMUM RADIUS BENDS SHALL BE 18". FOR ABOVE GROUND INSTALLATION USE METALLIC RIGID STEEL CONDUIT. PROVIDE PULL WIRE IN EMPTY CONDUITS. ALL CROSSINGS TO BE PERPENDICULAR TO STREET.
- CONDUIT DEPTH: 24" UNDER SIDEWALK; 24" UNDER PLANTER STRIP; 30" UNDER PAVEMENT.
- CABLE: CABLE SHALL BE U.L. A.W.G. NO. 8, 7-STRAND SOFT COPPER, TYPE THW OR THWN WITH MINIMUM OF 3/64" (40 MIL) POLYVINYLCHLORIDE INSULATION, UNLESS OTHERWISE NOTED. U.L. LISTED 600 VOLT, NO. 10 IN POLE MAY BE USED (40 MIL INSULATION).
- SPLICE BOXES: SPLICE BOXES SHALL BE NO. 3-1/2 STATE TYPE WITH LID AND BRASS HOLD DOWN BOLTS, UNLESS OTHERWISE NOTED. LIDS TO BE INScribed "STREET LIGHTING". SPLICE BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS. SPLICE BOXES TO BE SET ON A CONCRETE FOOTING WHEN SUBJECT TO TRAFFIC LOAD.
- FUSES: EACH POLE SHALL BE FUSED WITH WATERPROOF IN-LINE FUSE HOLDERS AT EACH ADJACENT BOX WITH 5 AMP FUSE. FOR DUPLEX LIGHTS, EACH LUMINAIRE SHALL BE FUSED SEPARATELY.
- SPLICING: ALL SPLICES SHALL BE MADE IN HAND HOLES OR SPLICE BOXES ONLY. SPLICES SHALL BE MADE WITH "STACK-ON" CRIMP JOINTS, "SCOTCH LOCK" FASTENERS, OR APPROVED EQUAL. ON SPLICES MADE BELOW GRADE, WRAP WITH MOISTURE PROOF INSULATION THICKNESS.
- POLE NUMBERS: OBTAIN AND PLACE POLE NUMBERS ON ALL STREET LIGHT STANDARDS AS REQUIRED. COORDINATE CITY OF SUNNYVALE FOR THEIR REQUIREMENTS.
- TRENCHING: CONDUIT CANNOT BE PLACED IN JOINT TRENCH. THE CONDUIT LAYOUT IS SHOWN SCHEMATICALLY. SEE COMPOSITE DRAWING FOR TRENCH AND BOX LOCATIONS. ANY INCIDENTAL TRENCHING NOT PROVIDED BY TRENCHING AGENT IS CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
- TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
- CONTRACTOR TO CONSULT WITH LOCAL AGENCIES FOR THEIR CIRCUIT GROUNDING REQUIREMENTS. IF GROUND WIRE IS REQUIRED IN CONDUIT, INSTALL ACCORDINGLY.
- LEGEND SYMBOLS ARE SHOWN IN STREET AREA FOR CLARITY. INSTALL BEHIND CURB AND/OR SIDEWALK PER CITY OF SUNNYVALE SPECIFICATIONS KEEP CLEAR OF DRIVEWAYS AND PATHWAYS (TYPICAL).
- GENERAL OF STREET LIGHTS SHALL BE LOCATED ON THE LOT LINE UNLESS OTHERWISE NOTED ON THESE PLANS.
- ANY CHANGES OR MODIFICATIONS TO PROPOSED STREET LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY CITY OF SUNNYVALE PRIOR TO INSTALLATION.
- SET ALL STREET LIGHTS TO ULTIMATE FINISHED GRADE. CONSULT WITH CITY FOR PROPER PHYSICAL PROTECTION AND/OR SIGNING AND STRIPING ADJACENT TO ANY STREET LIGHTS INSTALLED IN THEIR ULTIMATE LOCATIONS THAT ARE NOT PROTECTED BY A VERTICAL CURB, SEW AND COMPACT EARTH TO FINISHED GRADE A MINIMUM OF 5' AROUND STREET LIGHT BASES AT THESE LOCATIONS.
- CONTACT U.S.A. (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".
- STREET LIGHT CONDUIT BENDS SHALL HAVE A MINIMUM 18" RADIUS. UNLESS OTHERWISE SHOWN ON THE PLANS, NO BEND SHALL BE INSTALLED IN THE STREET LIGHT SYSTEM WITHOUT PRIOR APPROVAL OF CITY OF SUNNYVALE INSPECTOR.
- ALL BOXES ARE TO BE INSTALLED WITHIN THE R/W AND/OR P.U.E. AREA.

CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY

STREET LIGHTING SYSTEM (PRIVATE)

WIRE	FURNISH	INSTALL
CONDUIT
BOXES
LUMINAIRES
POLES
POLES & ARMS

SCHEDULE: 120/240 VOLT WIRING DIAGRAM

INSTALL IN JOINT TRENCH: 120/240 VOLT WIRING DIAGRAM

CONDUIT TYPE: 120/240 VOLT WIRING DIAGRAM

WIRE SIZE: 120/240 VOLT WIRING DIAGRAM

ADDITIONAL NOTES: -PRIVATE LIGHTS TO BE MAINTAINED BY H.O.A. (HOMEOWNERS ASSOCIATION) WITHIN TRACT ACCEPTANCE.

02.28.23

0 4 8 16

1

GARDCO PUREFORM PPT LIGHT DETAIL

NOT TO SCALE

2

GARDCO PUREFORM P20 LIGHT DETAIL

NOT TO SCALE

FOOTHILL VILLAGE CENTER, FMDC

SUNNYVALE, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

VOLTAGE DROP CALCULATIONS

LOCATION	DISTANCE	WATT	VOL/MP	VOLTAGE 120/240	WIRE SIZE	% VOLTAGE DROP	CIRCUIT #
STREET LIGHTS ON THE EAST SIDE OF THE METERED SERVICE PEDESTAL	444'	746.3	829.2	120	#8	1.08	A
STREET LIGHTS ON THE WEST SIDE OF THE METERED SERVICE PEDESTAL	665'	430.3	478.1	120	#8	1.82	B

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•Control Systems

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1	GARDCO BOLLARD LIGHT DETAIL
SL2	NOT TO SCALE

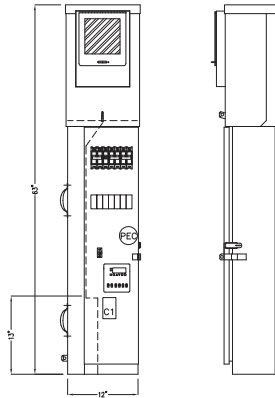
2	EXTERIOR LIGHT, WALL MOUNT DETAIL
SL2	NOT TO SCALE

3	EXTERIOR DOWNLIGHT DETAIL
SL2	NOT TO SCALE

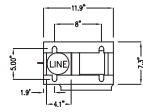
4	EXTERIOR LIGHT, WALL MOUNT DETAIL
SI 2	NOT TO SCALE

5	EXTERIOR UP-DOWNLIGHT DETAIL
SL2	NOT TO SCALE

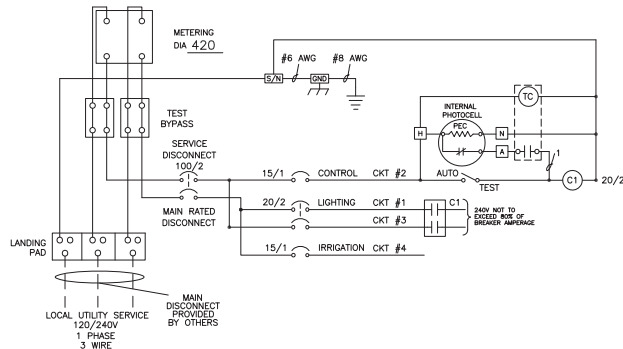
LIGHTING AND IRRIGATION



FRONT VIEW RIGHT SIDE



BASE PLAN

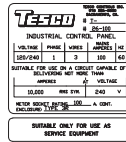


NOTE: LOAD CURRENT FOR ALL BREAKERS NOT TO EXCEED 80% OF BREAKER AMPERAGE

ENCLOSURE CONSTRUCTION NOTES

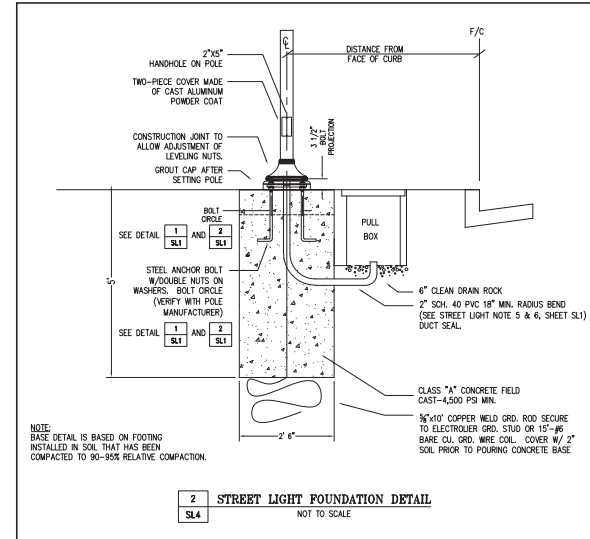
1. EXTERIOR 12 GA. H.D. GALV. STEEL AND INTERIOR 14 GA. COLD ROLLED STEEL ELECTRICALLY WELDED AND REINFORCED WHERE REQUIRED.
2. CONSTRUCTION WILL BE NEMA 3R, HANDIGHT.
3. ALL NUTS, BOLTS AND SCREWS WILL BE STAINLESS STEEL.
4. NUTS, BOLTS & SCREWS WILL NOT BE VISIBLE FROM OUTSIDE OF ENCLOSURE.
5. NAMEPLATES WILL BE PROVIDED AS REQUIRED.
6. CONTROL WIRING WILL BE MARKED AT BOTH ENDS BY PERMANENT WIRE MARKERS.
7. A PLASTIC COVERED WIRING DIAGRAM WILL BE ATTACHED TO THE INSIDE OF THE FRONT DOOR.
8. ENCLOSURE WILL BE FACTORY WIRED AND CONFORM TO REQUIRED NEMA AND UL 508A STANDARDS.
9. COLOR TO BE: RANCH GREEN

SERVICE EQUIPMENT WIRING DIAGRAM



CONTACT TESCO
916-395-8800
FOR ORDERING DETAIL

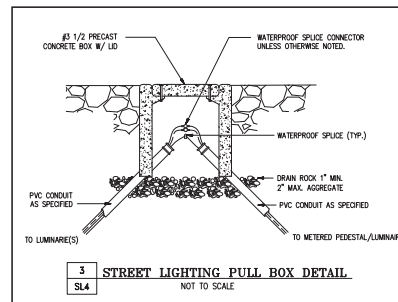
1 METERED SERVICE PEDESTAL
SL4 100A 120/240V 1P 3W MAIN BRKR. TYPE W WITH TIME CLOCK AND P.E.C. OR APPROVED EQUAL.



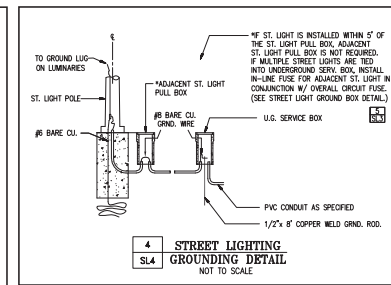
2 STREET LIGHT FOUNDATION DETAIL
SL4 NOT TO SCALE

SINGLE PHASE

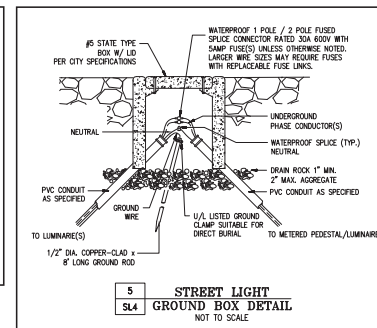
PROJECT: 877 W. FREMONT					PANEL - METERED SERVICE PEDESTAL												
SERVICE	LOAD				CB	A	B	CB	LOAD				SERVICE				
	LTG	REC	DED	MOT					LTG	REC	DED	MOT					
STREET LIGHTING	0.830				2	20	1	2	1	15		0.3		CONTROL			
STREET LIGHTING	0.479						3	4	1	15		0.3		IRRIGATION			
SPACE							5	6						SPACE			
SPACE							7	8						SPACE			
SPACE							9	10						SPACE			
SPACE							11	12						SPACE			
SPACE							13	14						SPACE			
SPACE							15	16						SPACE			
SPACE							17	18						SPACE			
SPACE							19	20						SPACE			
TOTALS	1.309											0.3		TOTALS			
VOLTS: 120/240, 1PH, 3W					MTC: XXX					CAPACITY: 100A							
SCA: 10,000										LIGHTING: 1.309 (125%) 1.636							
MAINS: 100 AMP										RECEIPTS: X							
(24KVA = 100A)										DEDICATED: 0.6							
										MOTORS: X							
										TOTAL: 2.236 KVA = 9.32A							



3 STREET LIGHTING PULL BOX DETAIL
SL4 NOT TO SCALE



4 STREET LIGHTING GROUNDING DETAIL
SL4 NOT TO SCALE



5 STREET LIGHT GROUND BOX DETAIL
SL4 NOT TO SCALE

02.28.23 0 4 8 16

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SL-4

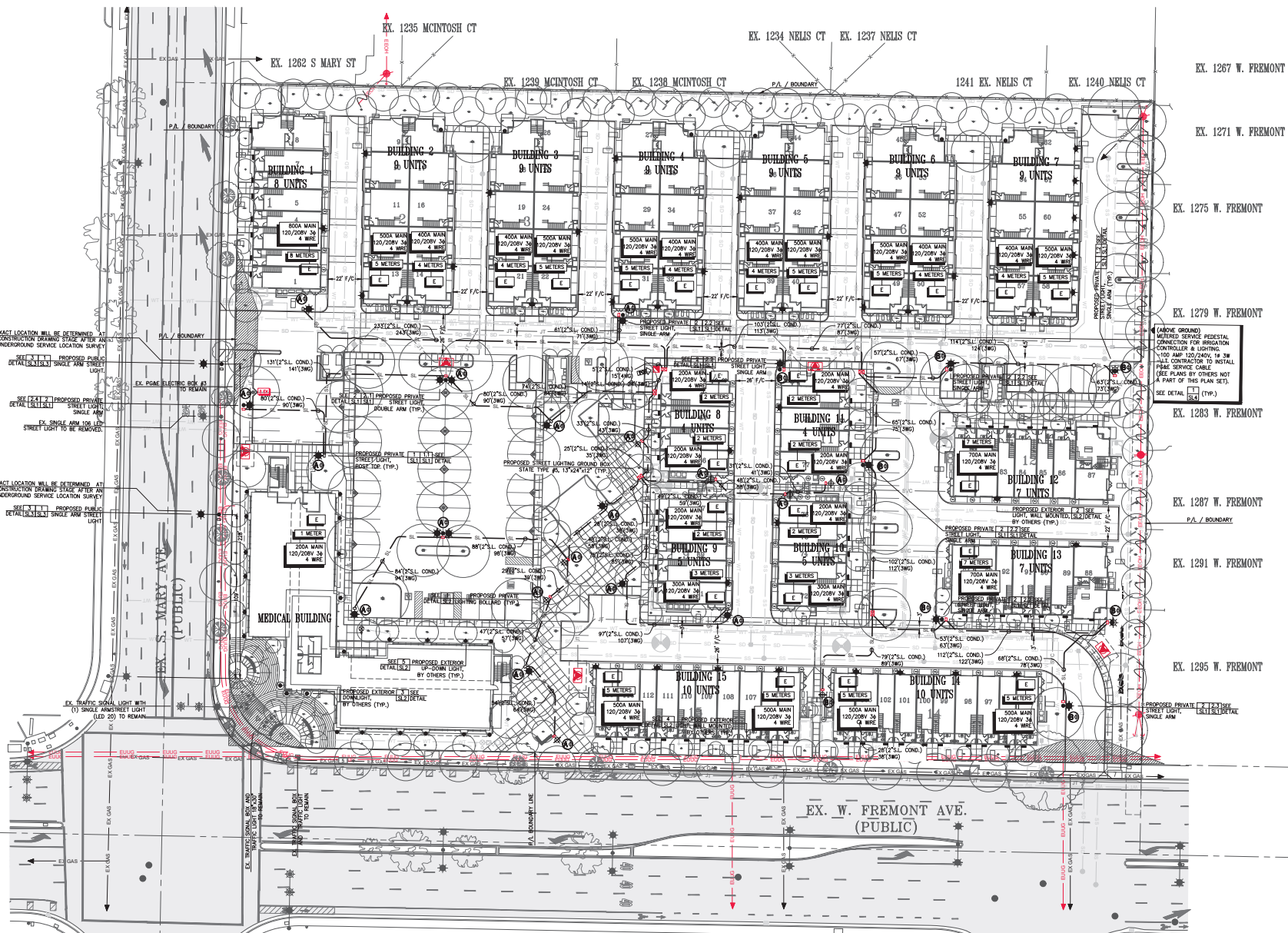
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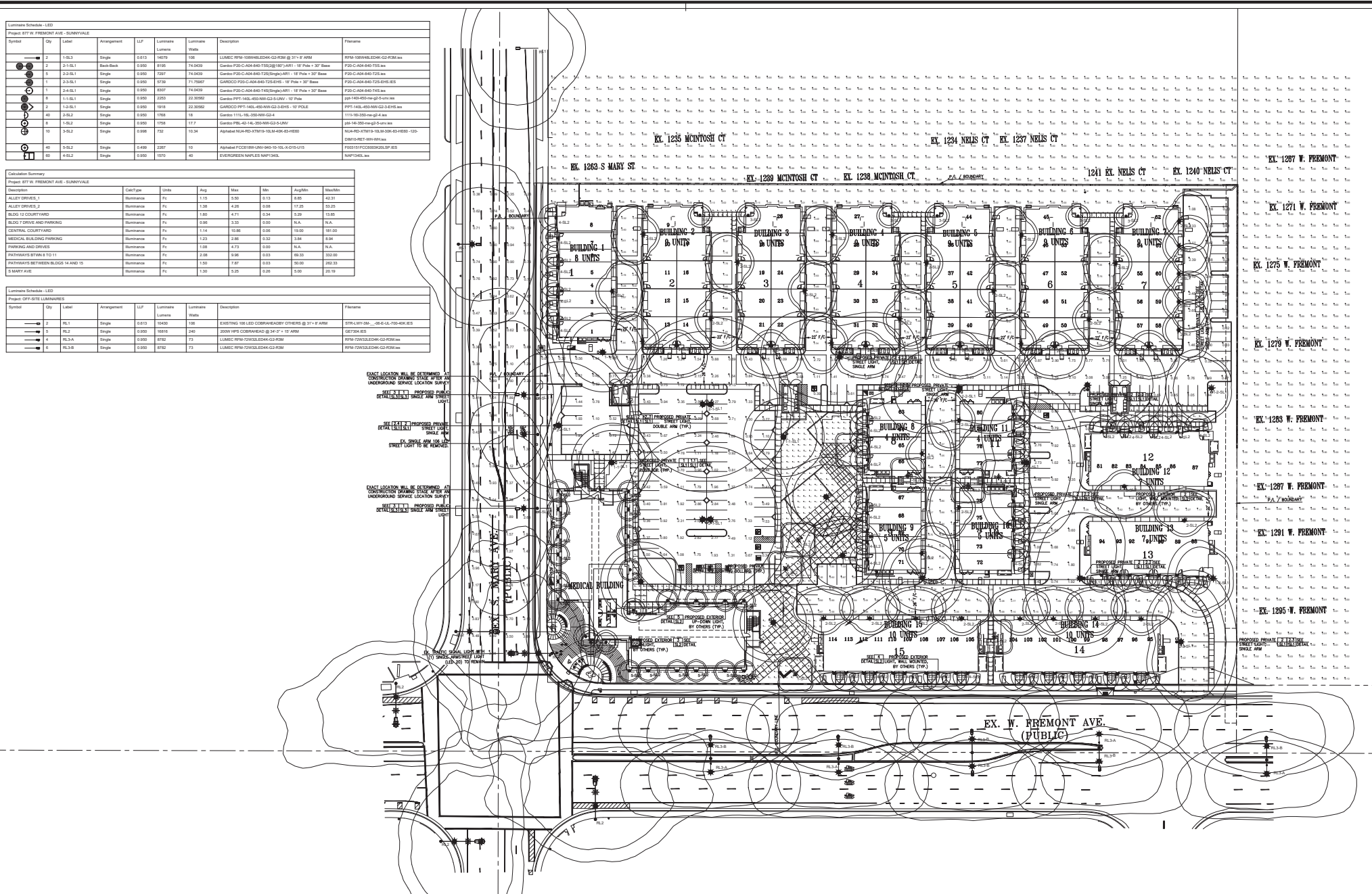
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Luminaire Schedule - LED							
Project: GFF-076 LUMINAIRES							
Symbol	Qty	Label	Arrangement	LFP Luminaire Lumens	Luminaire Watts	Description	Filename
	2	RL-1	Single	0.013 15430	106	6X180V-160 COB/READY OTHERS @ 31" X 8MM	STR-LFPV-160_-06-4-LED-106-LED.E3
	5	RL-2	Single	0.013 15430	240	300W RFA COB/READY OTHERS @ 3" X 1" 8MM	CE730W-65
	4	RL-3A	Single	0.020 6762	73	LLM6C RFA TQV32C-EDM-G2-R2M	RFA-TQV32C-EDM-G2-R2M.mxd
	6	RL-3B	Single	0.020 6762	73	LLM6C RFA TQV32C-EDM-G2-R2M	RFA-TQV32C-EDM-G2-R2M.mxd

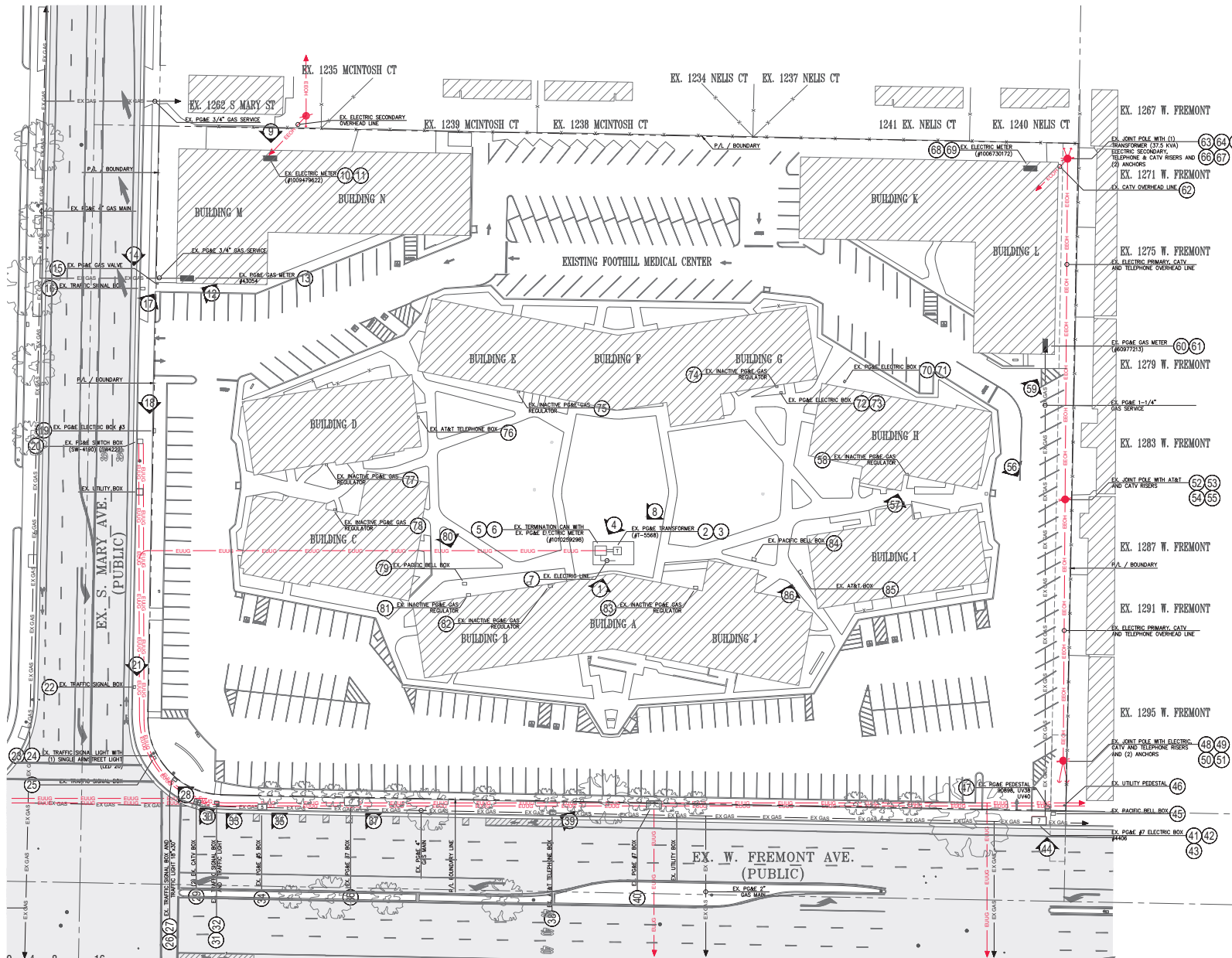


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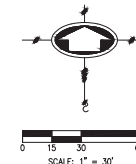
P-1

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NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS



LEGEND:	
EX GAS	EX. GAS LINES
EXCH	EX. OVERHEAD UTILITY LINES
EECH	EX. OVERHEAD ELECTRIC LINES
EEUG	EX. UNDERGROUND ELECTRIC LINES
ECUG	EX. UNDERGROUND CATV LINES
ETUG	EX. UNDERGROUND TELEPHONE LINES
60	EX. PG&E SERVICE BOX, 17' x 30' x 18'/17' x 30' x 26"
61	EX. PG&E SERVICE BOX, 24' x 36' x 18'/24' x 36' x 26"
62	EX. PG&E SERVICE BOX, 3' x 5' x 36"
63	EX. PG&E SERVICE BOX, 4' x 6' x 5'
64	EX. PG&E SERVICE BOX, 4' x 6' x 6'
65	EX. TELEPHONE SERVICE BOX, 30' x 48' x 32"
66	EX. PG&E SUBSURFACE TRANSFORMER, 3' x 5' x 4'6"
67	EX. CATV SERVICE BOX, 17' x 30' x 12"
68	EX. CATV SERVICE BOX, 24' x 36' x 18"
69	EX. ELECTRIC METER
70	EX. GAS METER
71	EX. ELECTROLUX, SINGLE ARM STREET LIGHT
72	EX. TRAFFIC SIGNAL LIGHT W/ SINGLE ARM ST. LIGHT
73	EX. TRAFFIC SIGNAL LIGHT
74	EX. POLE W/ 100 KVA TRANSFORMER, RISER, ANCHOR
75	EX. PHOTO(S) NUMBER REFERENCE



CAUTION:
APPROXIMATE GAS LOCATION. DEVELOPER TO
VERIFY EXACT LOCATION FOR GAS MAIN.

NOTE:
SOME UTILITY BOXES HAVE BEEN ENLARGED
FOR CLARITY. SEE SHT. P1 'LEGEND' FOR
SPECIFIC DIMENSIONS.

REFERENCE PHOTO



PHOTO 1

EX. PG&E TRANSFORMER
(#T-5568)



PHOTO 2



PHOTO 3

REFERENCE PHOTO



PHOTO 4

EX. PG&E TERMINATION CAN WITH
ELECTRIC METER (#1010259298)
ALSO (SEE PIC #6)



PHOTO 5

EX. TERMINATION CAN WITH EX.
PG&E ELECTRIC METER
(#1010259298) (SEE PIC #5)



PHOTO 6

EX. ELECTRIC LINE



PHOTO 7

REFERENCE PHOTO



PHOTO 8

EX. PG&E ELECTRIC METER (# 1009479622)
ALSO SEE PIC#11

REFERENCE PHOTO



PHOTO 9



PHOTO 10

EX. PG&E ELECTRIC METER (# 1009479622)
ALSO (SEE PIC #10)



PHOTO 11

REFERENCE PHOTO



PHOTO 12

EX. PG&E GAS METER



PHOTO 13

REFERENCE PHOTO



PHOTO 14

EX. PG&E GAS VALVE



PHOTO 15

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NO.	REVISIONS	BY	DATE	DATE: SEPTEMBER	DATE LAST WORKED ON: 2/28/2023	811 CALL BEFORE YOU DIG UTILITY SERVICE	SHEET P2 OF P7 SHEETS
				SCALE: NOT TO SCALE	DRAWN: HA CHECKED: ML		
				JOB NO.: 221092	PRELIMINARY NOT FOR CONSTRUCTION		
				INTENT TO CONSTRUCT			

EX. TRAFFIC SIGNAL BOX



PHOTO 16

REFERENCE PHOTO



PHOTO 17

REFERENCE PHOTO



PHOTO 18

EX. PG&E ELECTRIC BOX #3



PHOTO 19

EX. PG&E SWITCH BOX
(SW-4190) (SW4222)



PHOTO 20

REFERENCE PHOTO



PHOTO 21

EX. TRAFFIC SIGNAL BOX



PHOTO 22

EX. TRAFFIC SIGNAL LIGHT AND
(1) SINGLE ARM STREET LIGHT
(20 LED)



PHOTO 23



PHOTO 24

EX. TRAFFIC SIGNAL BOX



PHOTO 25

EX. TRAFFIC SIGNAL BOX AND
TRAFFIC LIGHT



PHOTO 26



PHOTO 27

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PHOTO 28

(2) EX. CATV BOXES



PHOTO 29

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PHOTO 30

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SHEET
P3
P7
SHEETS



PHOTO 31

EX. TRAFFIC SIGNAL BOX AND
TRAFFIC LIGHT



PHOTO 32

REFERENCE PHOTO



PHOTO 33

EX. PG&E #5 BOX



PHOTO 34

REFERENCE PHOTO



PHOTO 35

EX. PG&E #7 BOX



PHOTO 36

REFERENCE PHOTO



PHOTO 37

EX. AT&T TELEPHONE BOX



PHOTO 38

REFERENCE PHOTO



PHOTO 39

EX. PG&E #7 BOX



PHOTO 40

EX. PG&E #7 BOX



PHOTO 41



PHOTO 42



PHOTO 43

REFERENCE PHOTO



PHOTO 44

EX. PACIFIC BELL BOX



PHOTO 45

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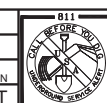
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SHEET
P4
P7
SHEETS

EX. UTILITY PEDISTAL



PHOTO 46

EX. PG&E PEDESTAL,
UV38, UV40



PHOTO 47

EX. JOINT POLE WITH ELECTRIC, CATV
AND TELEPHONE RISERS AND (2)
ANCHORS ALSO SEE PIC #51

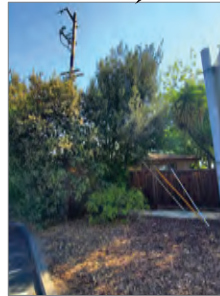


PHOTO 48



PHOTO 49

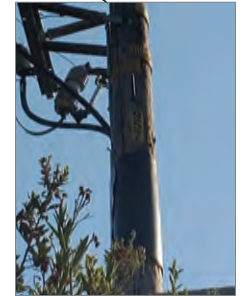


PHOTO 50

EX. JOINT POLE WITH ELECTRIC, CATV
AND TELEPHONE RISERS AND (2)
ANCHORS ALSO SEE PIC #48-50



PHOTO 51

EX. JOINT POLE ELECTRIC
PRIMARY, CATV, TELEPHONE AND
(2) CATV AND TELEPHONE RISERS



PHOTO 52

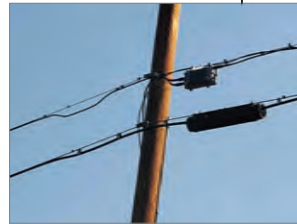


PHOTO 53



PHOTO 54



PHOTO 55

REFERENCE PHOTO



PHOTO 56

REFERENCE PHOTO



PHOTO 57

EX. INACTIVE PG&E GAS
REGULATOR



PHOTO 58

REFERENCE PHOTO



PHOTO 59

EX. PG&E GAS METER
(#60977213) ALSO SEE P61



PHOTO 60

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SHEET
P5
P7
SHEETS

EX. PG&E GAS METER
(#60977213) ALSO SEE PIC #60



PHOTO 61

EX. CATV OVERHEAD LINE

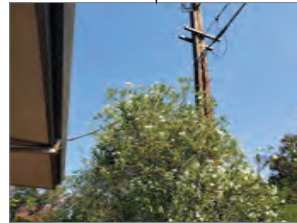


PHOTO 62

EX. JOINT POLE WITH (1) TRANSFORMER (37.5 KVA)
ELECTRIC SECONDARY, TELEPHONE & CATV RISERS AND (2)
ANCHORS ALSO SEE PIC 66-71



PHOTO 63



PHOTO 64



PHOTO 65

EX. JOINT POLE WITH (1) TRANSFORMER (37.5 KVA)
ELECTRIC SECONDARY, TELEPHONE & CATV RISERS AND (2)
ANCHORS ALSO SEE PIC 63-65



PHOTO 66



PHOTO 67

EX PG&E ELECTRIC METER
(#1006730172)



PHOTO 68



PHOTO 69

EX. PG&E ELECTRIC BOX
ALSO SEE PIC#71



PHOTO 70

EX. PG&E ELECTRIC BOX
ALSO SEE PIC #70



PHOTO 71

EX. PG&E ELECTRIC BOX



PHOTO 72



PHOTO 73

EX. INACTIVE PG&E GAS
REGULATOR



PHOTO 74

EX. INACTIVE PG&E GAS
REGULATOR

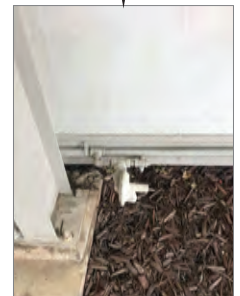


PHOTO 75

PHOTO EXHIBIT

FOOTHILL VILLAGE CENTER, FMDC
877 W. FREMONT
SUNNYVALE CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: SEPTEMBER	DATE LAST WORKED ON: 2/28/2023
SCALE: NOT TO SCALE	DRAWN: HA
JOB NO.: 221092	CHECKED: ML
PRELIMINARY	NOT FOR CONSTRUCTION
INTENT TO CONSTRUCT	

811 CALL BEFORE YOU DIG UNIVERSITY SERVICE

SHEET P6
P7

EX. AT&T TELEPHONE BOX



PHOTO 76

EX. PG&E ELECTRIC BOX
(SEE BELOW)



PHOTO 77

EX. INACTIVE PG&E GAS
REGULATOR



PHOTO 78

EX. INACTIVE PG&E GAS
REGULATOR



PHOTO 83

EX. PACIFIC BELL BOX



PHOTO 79

REFERENCE PHOTO



PHOTO 80

EX. INACTIVE PG&E GAS
REGULATOR



PHOTO 81

EX. INACTIVE PG&E GAS
REGULATOR



PHOTO 82

EX. PACIFIC BELL BOX



PHOTO 84

EX. AT&T BOX



PHOTO 85

REFERENCE PHOTO



PHOTO 86

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PHOTO EXHIBIT
FOOTHILL VILLAGE CENTER, FMDC
877 W. FREMONT
SUNNYVALE CALIFORNIA

NO.	REVISIONS	BY	DATE	DATE: SEPTEMBER	DATE LAST WORKED ON: 2/28/2023
				SCALE: NOT TO SCALE	DRAWN: HA CHECKED: ML
				JOB NO.: 221092	PRELIMINARY NOT FOR CONSTRUCTION
				INTENT TO CONSTRUCT	



SHEET
P7
P7
SHEETS



Table 1: Shadow Results by Roof

Building Number	Dec 21 9:00 am Shadow Area [%]	Dec 21 3:00 pm Shadow Area [%]	Annual Average Shadow Area [%]
1	0.00	0.00	N/A
2	15.14	7.79	0.50
3	0.00	0.00	N/A
4	3.46	0.37	N/A
5	1.96	8.31	N/A
6	0.00	0.00	N/A
7	0.00	0.00	N/A
8	6.49	4.72	N/A
9	0.00	1.26	N/A
10	0.00	0.00	N/A
11	0.00	0.00	N/A
12	0.00	0.00	N/A
13	0.00	0.00	N/A
14	0.00	0.00	N/A
15	0.00	0.00	N/A
16	0.00	0.00	N/A
17	0.00	0.00	N/A
18	0.00	6.48	N/A
19	0.00	12.41	0.37
20	0.00	6.17	N/A
21	0.00	0.00	N/A
22	0.00	0.00	N/A
23	0.00	0.00	N/A
24	0.00	0.00	N/A
25	0.00	0.00	N/A
26	0.00	0.00	N/A
27	0.00	0.00	N/A
28	0.00	0.00	N/A
29	0.00	0.00	N/A
30	0.00	0.00	N/A

Table 2: Average Hourly Percentage Shadowed by Month and Hour – Roof 2

	9:00	10:00	11:00	12:00	13:00	14:00	15:00
Jan	9.79%	0.28%	0.16%	0.09%	0.14%	0.41%	2.37%
Feb	0.41%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Mar	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Apr	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
May	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Jun	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Jul	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Aug	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Sep	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Oct	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Nov	1.46%	0.03%	0.02%	0.00%	0.03%	0.27%	2.18%
Dec	12.83%	0.78%	0.45%	0.41%	0.56%	1.18%	7.24%

Table 3: Average Hourly Percentage Shadowed by Month and Hour – Roof 19

	9:00	10:00	11:00	12:00	13:00	14:00	15:00
Jan	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	4.34%
Feb	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Mar	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Apr	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
May	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Jun	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Jul	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Aug	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Sep	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Oct	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	2.34%
Nov	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	10.87%
Dec	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	13.13%

Analysis Summary:

Per Sunnyvale Municipal Code Section 19.56.020(b), RWDI investigated the amount of new shadowing the project can create on adjacent rooftops at 9am and 3pm on December 21. Shadowing on the 21st of March, June and September was also studied to cover the full range of shadow lengths (images at left). On December 21 only Roofs 2 and 19 (as defined in the upper left image) were predicted to have more than 10% of their area shadowed by the project. No other roofs or existing solar collectors (on Roofs 3 and 8) were predicted to be shadowed beyond the threshold. A full 365-day solar cycle analysis for those roofs was then undertaken per Sunnyvale Municipal Code Section 19.56.020(b)(2).

When the full solar cycle is accounted for, average shadowing for the studied roofs was not predicted to exceed 10%. The project is therefore in compliance with Sunnyvale Municipal Code Section 19.56.020. Table 1 above summarizes the predicted shadow areas at 9am and 3pm on December 21 as well as the annual average shadowed area. Tables 2 and 3 summarize the average shadow area on Roofs 2 and 19 by hour and month.

Study Type: Sun/Shade Study

Project: 877 W. Fremont Ave.

Sheet: SS-1

RWDI#: 2203821

Date: June 24, 2022

